

VILLAGE OF GILBERTS

RESOLUTION 08-2020

**A RESOLUTION APPROVING AN ADDITIONAL BUILDING MODEL AND
ADDITIONAL ELEVATIONS FOR THE SINGLE-FAMILY HOMES IN THE
CONSERVANCY DEVELOPMENT**

WHEREAS, on October 31, 2005, the Village of Gilberts Board of Trustees approved an Annexation and Development Agreement between the Village of Gilberts and the owners of approximately 1,114 acres of land as described in the original Annexation Agreement (“**Original Annexation Agreement**”) for the development of 1,114 acres known as the Conservancy (“**Conservancy**”), which Agreement was recorded on January 9, 2006, with the Kane County Recorder’s Office, as Document No. 2006K002188; and

WHEREAS, Gilberts Development LLC (“**Gilberts Development**”), is the successor-in-interest to a portion of the Conservancy consisting of 914.02 acres (“**Gilberts Development Parcel**”); and

WHEREAS, the Annexation Agreement has been amended from time-to-time, including the First Amendment, which was recorded on February 3, 2017, with the Kane County Recorder’s Office as Document No. 2017K006674, the Second Amendment, which was recorded on April 16, 2019, with the Kane County Recorder’s Office as Document No. 2019K014772; and the Third Amendment which was recorded on July 9, 2019, with the Kane County Recorders’ Office as Document No. 2019K029087 (the Original Annexation Agreement, First Amendment, Second Amendment, and Third Amendment shall be collectively referred to as “**Annexation Agreement**”); and

WHEREAS, on November 22, 2005, the Village of Gilberts Board of Trustees also approved Ordinance No. 05-46, a Rezoning and Planned Unit Development Ordinance for the Conservancy Development; and

WHEREAS, Ordinance No. 05-46 has been amended from time-to-time, including a First PUD Amendment approved in 2017, and a Second PUD Amendment in 2019 (Ordinance No. 05-46, as amended by the First PUD Amendment and Second PUD Amendment, shall be referred to as the “**PUD Ordinance**”); and

WHEREAS, the PUD Ordinance approved Building Elevation Plans for the single-family homes in the Gilberts Development Parcel; and

WHEREAS, Section 3 of the PUD Ordinance and Section 22.J of the Annexation Agreement authorize the Village Board to approve modifications to the approved Building Elevation Plans pursuant to a Resolution; and

WHEREAS, the Village Board previously approved additional Building Elevation Plans for single family homes, as prepared by Pulte Homes, pursuant to Resolution Nos. 19-2018 and 20-2019; and

WHEREAS, the Village Board is now being asked to approve supplemental Building Elevation Plans for a new model of single family home (Palladio) and an additional 3-car garage option for the Bramante elevation, as attached to this Resolution; and

WHEREAS, the Village Board has considered and approves the request to approve supplemental Building Elevation Plans for the single-family homes in the Gilberts Development Parcel, as set forth in this Resolution.

THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF GILBERTS AS FOLLOWS:

Section 1. Recitals. The recitals set forth above are hereby incorporated into and made a part of this Resolution as though set forth in this Section 1.

Section 2. Approval of Additional Building Model and Elevation Plans for Single Family Homes. In accordance with the authority granted by the Annexation Agreement and the PUD Ordinance, the Village Board of Trustees hereby approves the additional Building Model and Elevation Plans for single family residences in the Gilberts Development Parcel that are attached to this Resolution as **Exhibit B**. These Elevations supplement the Elevations authorized by the PUD Ordinance and Resolution Nos. 19-2018 and 20-2019.

Section 3. Conditions. The approvals granted in Section 2 of this Resolution are conditioned upon and limited by the following requirements, conditions, and restrictions, the violation of any of which shall, in the sole discretion of the President and Board of Trustees, invalidate the approvals:

- A. **No Authorization of Work.** This Resolution does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind shall be commenced on the Conservancy Development pursuant to the approvals granted in this Resolution unless and until all conditions of this Resolution have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. **Compliance with Laws.** The Village's zoning, subdivision, and building regulations, and all other applicable Village ordinances and regulations shall continue to apply to the Conservancy Development, and the development and use of the Conservancy Development shall comply with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. **Continued Effect of the Approvals.** The Amended PUD Ordinance and the Amended Annexation Agreement shall remain in full force and effect, and the Owner shall comply with all requirements, conditions, and restrictions therein.

In addition, any violation of this Resolution shall be deemed a violation of the Village of Gilberts Zoning Code and shall subject the Owner to enforcement proceedings accordingly.

Section 4. Severability. In the event a court of competent jurisdiction finds this Resolution or any provision hereof to be invalid or unenforceable as applied, such finding shall not affect the validity of the remaining provisions of this Resolution and the application thereof to the greatest extent permitted by law.


Section 5. Repeal and Saving Clause. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions, or cause of action which shall have accrued to the Village of Gilberts prior to the effective date of this Resolution.

Section 6. Effective Date. Upon its passage and approval according to law, this Resolution shall, by authority of the Board of Trustees, be published in pamphlet form.

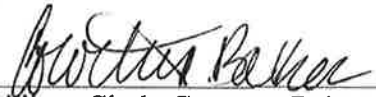
PASSED BY THE BOARD OF TRUSTEES of the Village of Gilberts, Kane County, Illinois, this 17 day of March 2020.

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Dan Corbett	_____	✓	_____	_____
Trustee Elissa Kojzarek	_____	✓	_____	_____
Trustee Nancy Farrell	✓	_____	_____	_____
Trustee Jeanne Allen	✓	_____	_____	_____
Trustee Lou Hacker	✓	_____	_____	_____
Trustee Guy Zambetti	_____	✓	_____	_____
President Rick Zirk	✓	_____	_____	_____

APPROVED THIS 17 DAY OF March, 2020



 Village President, Rick Zirk



 Village Clerk, Courtney Baker



Amended Motion: A Motion to approve Resolution 08-2020, a Resolution Approving an Additional Building Model and Additional Elevations for the Single-Family Homes in the Conservancy Development Minus Elevation A

EXHIBIT A

LEGAL DESCRIPTION OF THE CONSERVANCY DEVELOPMENT

PARCEL 1:

THE WEST 87 LINKS OF GOVERNMENT LOT 1 OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

PARCEL 2:

THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

PARCEL 3:

THE SOUTH 4 RODS OF THE EAST 3 RODS OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 11 TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

PARCEL 4:

THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND THAT PART OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN LYING EASTERLY OF THE RIGHT OF WAY LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY, SAID PARALLEL LINE BEING ALSO THE WESTERLY RIGHT OF WAY LINE OF THE ELGIN AND BELVIDERE ELECTRIC COMPANY IN RUTLAND TOWNSHIP, KANE COUNTY, ILLINOIS.

PARCEL 5:

THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

PARCEL 6:

THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 42, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

PARCEL 7:

THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

PARCEL 8:

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

PARCEL 9:

THE SOUTH HALF OF THE SOUTH HALF OF SECTION 2 AND THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 11, ALL IN TOWNSHIP 42 NORTH, RANGE 7 EAST OF

THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

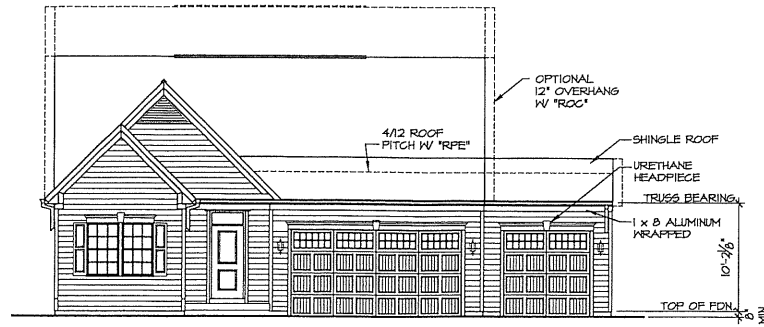
PARCEL 10:

THE NORTH HALF OF THE NORTHEAST QUARTER (EXCEPT THE SOUTH 4 RODS OF THE WEST 3 RODS THEREOF) OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF RUTLAND, KANE COUNTY, ILLINOIS.

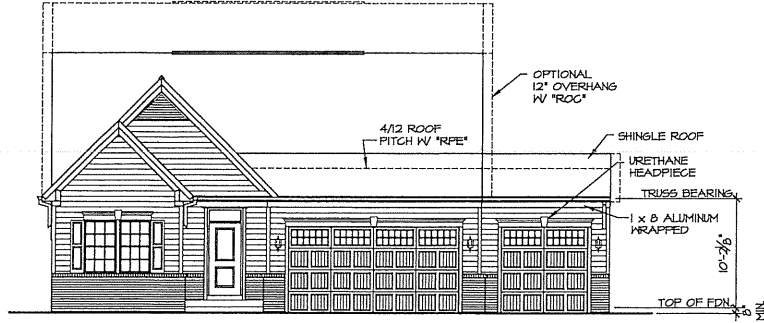
PARCEL 11:

THE NORTHWEST FRACTIONAL QUARTER OF SECTION 2, (EXCEPT THE WEST 87 LINKS OF THE NORTHWEST QUARTER OF SAID NORTHWEST FRACTIONAL QUARTER AND ALSO EXCEPT THAT PART OF SAID NORTHWEST FRACTIONAL LYING NORTHEASTERLY OF THE CENTER LINE OF HUNTLEY ROAD), ALSO THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 2, ALL IN TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN IN RUTLAND TOWNSHIP, KANE COUNTY, ILLINOIS.

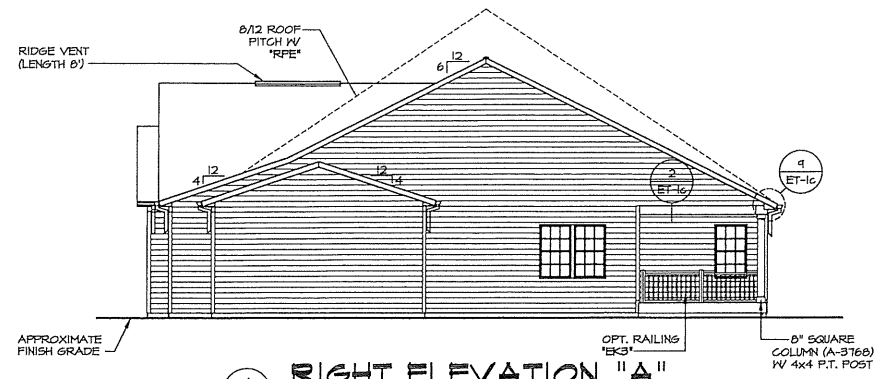
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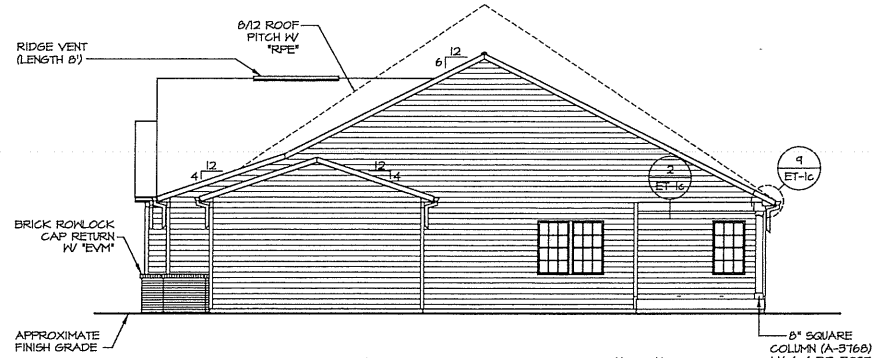
3 FRONT ELEVATION "A"
 A-7.1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"
 3 CAR GARAGE - FRONT ENTRY



5 FRONT ELEVATION "A"
 A-7.1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"
 3 CAR GARAGE - FRONT ENTRY



4 RIGHT ELEVATION "A"
 A-7.1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"



6 RIGHT ELEVATION "A"
 A-7.1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"
 3 CAR GARAGE - FRONT ENTRY

LEGEND

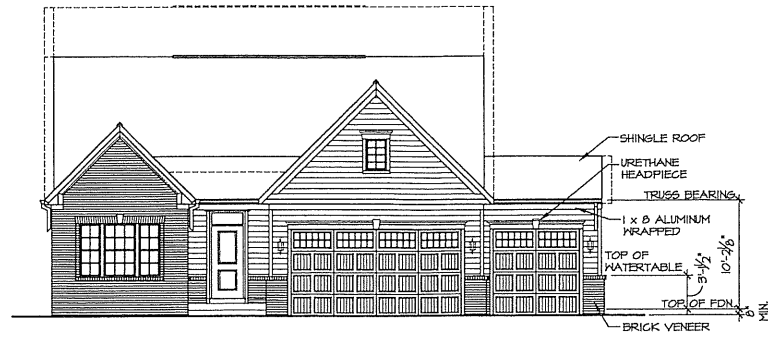
—	BEARING WALL
- - -	NON BEARING WALL
⊗	INDICATES BEARING FROM POINT-LOAD ABOVE
⌞	JACKS
B	BEAM/HEADER
F	PAD FOOTING
C	STEEL COLUMN
X	TRUSS TIE DOWN
X	PORTAL FRAME
X	JOIST/TRUSS
L	LVL
X	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

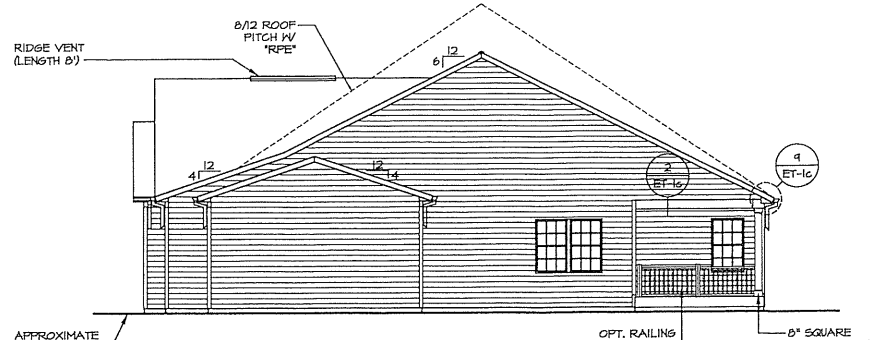
- NOTES:**
1. GENERAL NOTES (N-1)
 2. SCHEDULES (N-2)
 3. LVL NAILING SCHEDULE (N-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

STEEL COLUMNS
 COLUMN SIZE AND GRADE FOR ENGINEERING AS SHOWN "SEA". REVISE ALL COLUMNS TO 3 3/8 SCH. 40 W/ OPTION "SEB".

SHEET NO. A-7.1	MODEL BRAMANTE	SET NO. #####	REVISIONS
	DRAWING TITLE OPTIONAL 3 CAR GARAGE	VERSION ##	DATE
##	OPTION DESCRIPTION ELEVATION "A"	DRAWN BY DATE: 01/17/20	OPTION
		<p>© NVR, Inc., is the copyright owner of the drawings and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or used in any form or manner without the prior written consent of NVR, Inc.</p> <p>NVR NVR, Inc., Suite 100 5285 Weavertown Drive Frederick, MD 21703</p>	
		<p>1/2019/SET190421-00-NVR-Bramante_Plans\Opt_3_Car_Garage.dwg 01/17/20 - 3:24 pm</p>	



3 FRONT ELEVATION "B"
 SCALE: 1/8" = 1'-0"
 3 CAR GARAGE - FRONT ENTRY



4 RIGHT ELEVATION "B"
 SCALE: 1/8" = 1'-0"
 3 CAR GARAGE - FRONT ENTRY

LEGEND

- BEARING WALL
- NON BEARING WALL
- ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
- J JACKS
- B BEAM/HEADER
- F PAD FOOTING
- C STEEL COLUMN
- X TRUSS TIE DOWN
- X PORTAL FRAME
- X JOIST/TRUSS
- LVL LVL
- X ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

- NOTES:**
1. GENERAL NOTES (N-1)
 2. SCHEDULES (N-2)
 3. LVL NAILING SCHEDULE (N-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

STEEL COLUMNS
 COLUMN SIZE AND GRADE PER ENGINEERING AS SHOWN "SEA". REVISE ALL COLUMNS TO 3"x6" SCH. 40 W/ OPTION "SEB".

REMARKS							
REV. NO.	DATE						DATE
REV. NO.	DATE						DATE
<p style="font-size: small;">NVR, Inc., is hereby granted the copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or manner whatsoever, nor are they to be used for any other project without the prior written consent of NVR, Inc.</p>							
<p style="font-size: x-small;">NVR, Inc., Suite 100 5285 Weavertown Dr. Frederick, MD 21703</p>							
SHEET NO.	MODEL	SET NO. #####	VERSION ##	DRAWN BY	DATE:	OPTION	DATE:
A-7.2	BRAMANTE				01/17/20		01/17/20
##	DRAWING TITLE	OPTIONAL 3 CAR GARAGE		OPTION DESCRIPTION			
	ELEVATION "B"						

PALLADIO RANCH



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT							CRAWL SPACE							SLAB							STANDARD DETAILS
	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "K"	ELEV. "L"	SIDE ELEVATIONS	REAR ELEVATIONS	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "K"	ELEV. "L"	SIDE ELEVATIONS	REAR ELEVATIONS	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "K"	ELEV. "L"	SIDE ELEVATIONS	REAR ELEVATIONS	
SPEC SHEET	55-1																					AD-1
ROOF VENT AND VOLUMN CALCULATION SHEET	CA-1																					DR-1
GENERAL NOTES	2																					DR-2
SCHEDULES	3																					DR-3
ELEVATIONS		4	5	6	6	7	7		4	5	6	6	7	7		4	5	6	6	7	7	ET-1
FOUNDATIONS	8		9	9	9			10/12		11/13	11/13	11/13			14/16		15/17	15/17	15/17			ET-1b
FOUNDATION HOLD DOWN DETAILS	18							18							18/19.1/19.2							ET-1c
PLUMBING	20.1							20.2							21							ET-1d
BASEMENT FLOOR PLAN	22/23																					ET-1e
FIRST FLOOR PLAN	24/25		26	26	26			24/25		26	26	26			24/25		26	26	26			ET-1f
BUILDING SECTIONS	27/28/29							27/28/29							27/28/29							ET-1g
STAIR SECTIONS	30																					ET-1h
KITCHENS - BATHS	31/32							31/32							31/32							ET-2
BASEMENT ELECTRICAL	33/34																					ET-3
FIRST FLOOR ELECTRICAL	35/36							35/36														ET-3b
FIRST FLOOR FRAMING	37							37														ET-3c
ROOF FRAMING	38							38							38							F-1
TRUSS BRACING	39/40							39/40							39/40							F-1b
WALL BRACING DETAILS	41/42.1							41/42.1							41/42.1/42.2							F-1c
HVAC LAYOUT - CORNERSTONE SPECS / BASEMENT	43																					F-2
HVAC LAYOUT - CORNERSTONE SPECS / FIRST FLOOR	44																					F-3
HVAC LAYOUT - SOUTHEAST SPECS / BASEMENT	45																					F-3b
HVAC LAYOUT - SOUTHEAST SPECS / FIRST FLOOR	46																					FA-1b
HVAC LAYOUT - CRAWL/SLAB FOUNDATION								47							47							FC-1
																						FC-3
																						FC-4
																						FC-5
																						FD-1
																						FD-2
																						FD-2b
																						FD-3
																						FD-4
																						FP-1
																						FP-1c
																						GB-1
																						IT-1
																						IT-1b
																						IT-1c
																						IT-2
																						IT-3
																						JT-1
																						JT-2
																						KT-1
																						RF-1
																						RF-1c
																						SEP-1
																						SEP-2
																						SEP-3
																						SEP-4
																						SP-1
																						SP-2
																						SP-3
																						ST-1
																						ST-2
																						WB-1
																						WB-2
																						WD-1
																						WD-2
																						WD-3
																						WB-1

FOOTPRINT	
BASE HOUSE:	
WIDTH:	40'-0"
DEPTH:	66'-0"
MAXIMUM:	
WIDTH:	40'-8"
DEPTH:	12'-0"

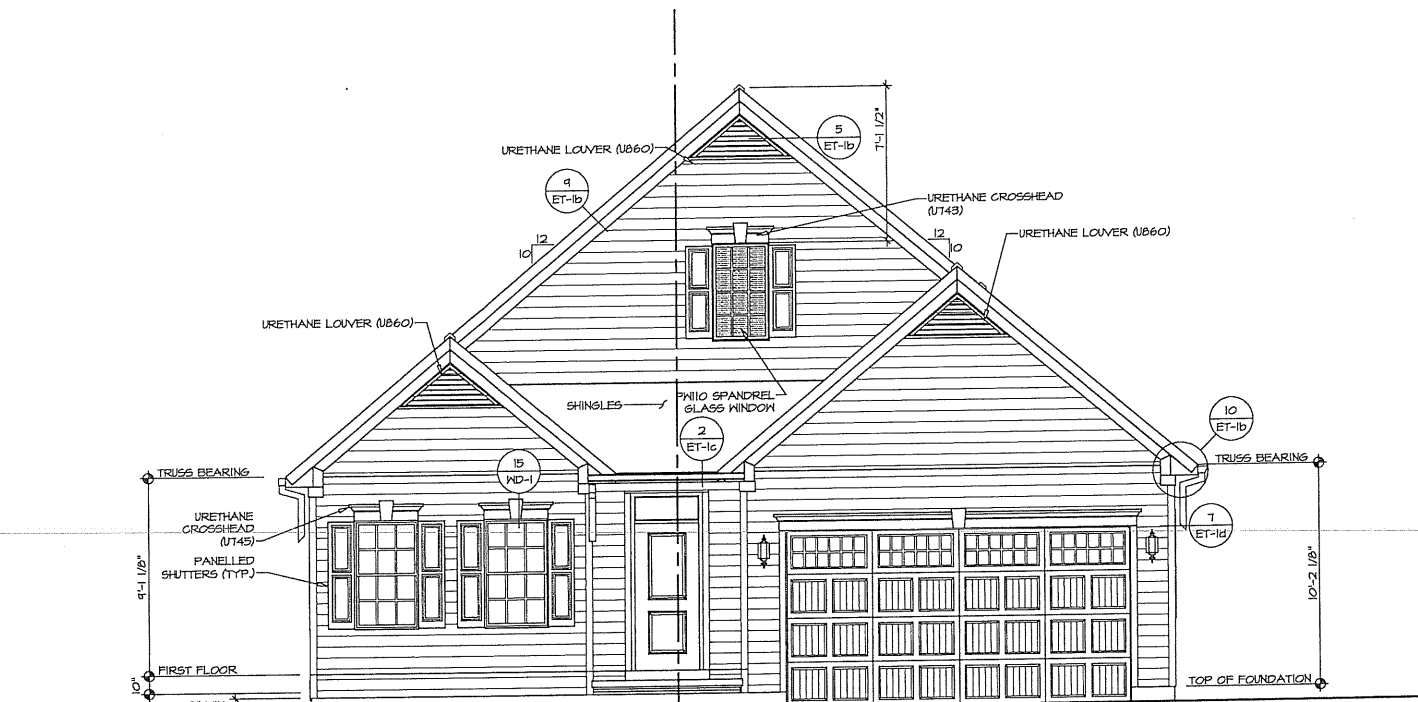
BASE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1441 SF
1ST FLOOR CRAWL / SLAB FOUNDATION (DEDUCT SF)	1441 SF
FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1441 SF
1ST FLOOR CRAWL / SLAB FOUNDATION (DEDUCT SF)	44 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE	437 SF
TWO CAR GARAGE CRAWL/SLAB FOUNDATION (ADD SF)	44 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1157 SF
BASEMENT BATH (ADD. SF)	57 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED BASEMENT	1457 SF
UNFINISHED BASEMENT STORAGE	743 SF
UNFINISHED BASEMENT STORAGE NO BASEMENT BATH (ADD. SF)	57 SF

SET - VERSION
PLDOA - 01 CS-1

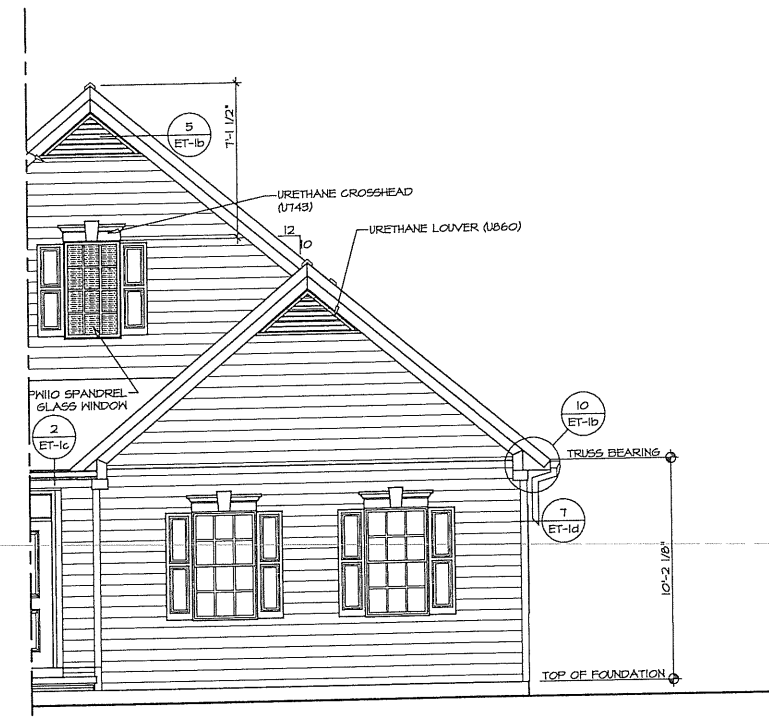
I:\PROJECTS\RYANHOMES\PALLADIO_RANCH_PLDOA_01\Sheets\Master_Set\CS-1_COVERSHEET.dwg 01/15/20 - 9:23 am

NOTE:
GRILLES IN GLAZING OF ALL EXTERIOR DOORS AND SIDELIGHTS TO BE OMITTED WITH BRONZE WINDOWS.

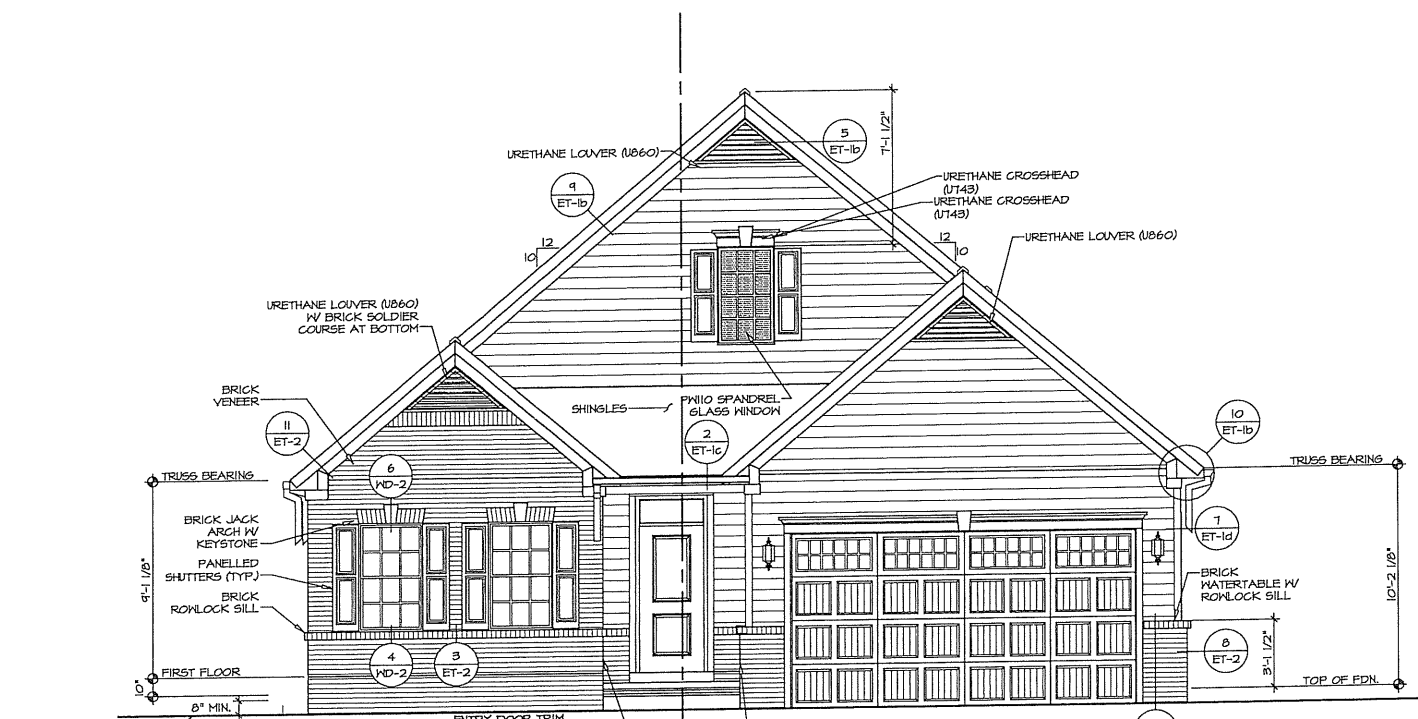
NOTE:
GARAGE DOOR GLASS DESIGN MAY VARY BY MANUFACTURER.



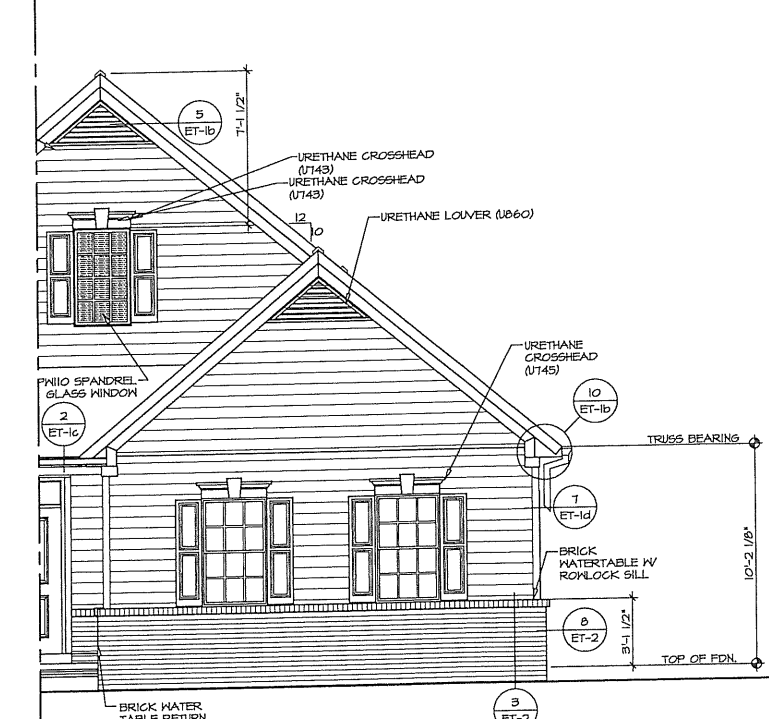
1 FRONT ELEVATION "A"
SCALE: 1/4" = 1'-0"
SIDING VENEER FRONT "EV"
TWO CAR FRONT ENTRY GARAGE "GCB"



2 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"
SIDING VENEER FRONT "EV"
TWO CAR SIDE ENTRY GARAGE "GCC"



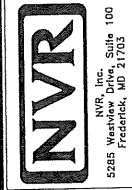
3 FRONT ELEVATION "A"
SCALE: 1/4" = 1'-0"
PARTIAL BRICK VENEER FRONT "EVM"
TWO CAR FRONT ENTRY GARAGE "GCB"



4 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"
PARTIAL BRICK VENEER FRONT "EVM"
TWO CAR SIDE ENTRY GARAGE "GCC"

REV. NO.	DATE	REMARKS
1	4/20/17	SFPA - REVISED GARAGE DOOR DESIGN (MARKETING ITEM)

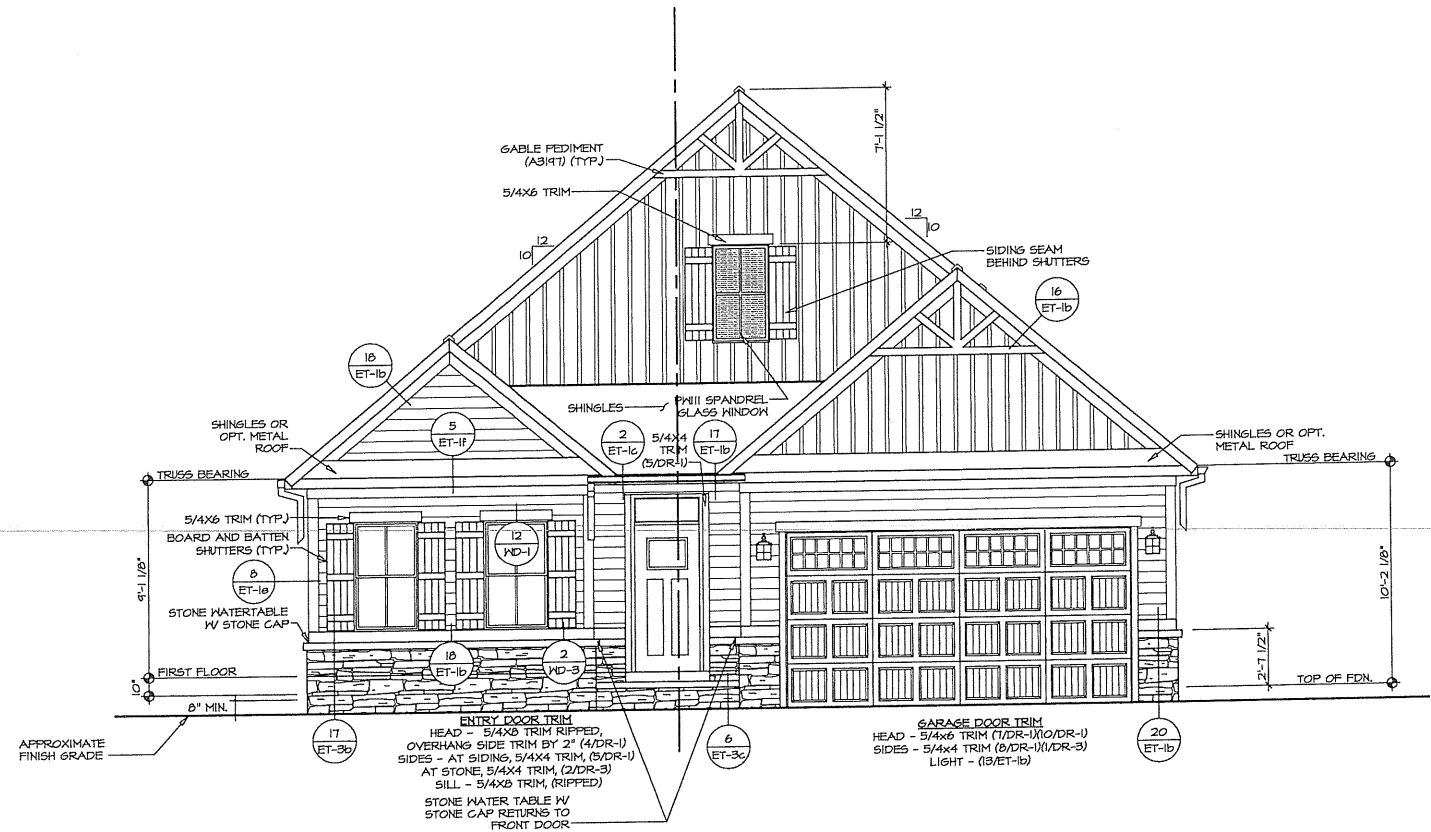
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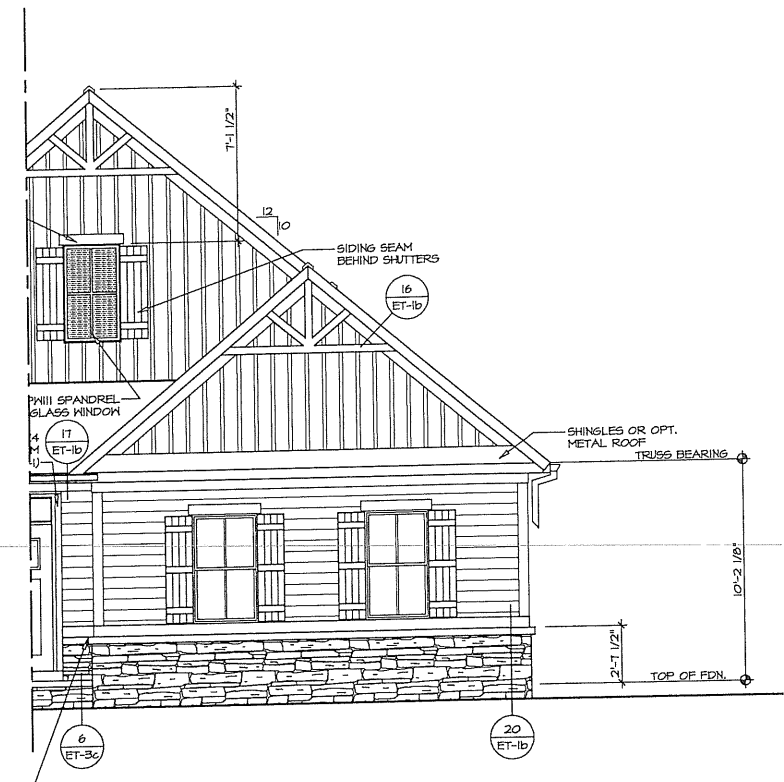
SHEET NO.	MODEL	SET NO. / FLOOR	VERSION	DATE	OPTION	DESCRIPTION
A-1	PALLADIO RANCH	01	01	2/1/17	"ELA", "EVM", "EVF", "GCC", "GCB", "GCC"	FRONT ELEVATION "A" SIDING VENEER, PARTIAL BRICK VENEER FRONT ENTRY GARAGE, SIDE ENTRY GARAGE

NOTE:
GRILLES IN GLAZING OF ALL EXTERIOR DOORS AND SIDELIGHTS TO BE OMITTED WITH BRONZE WINDOWS

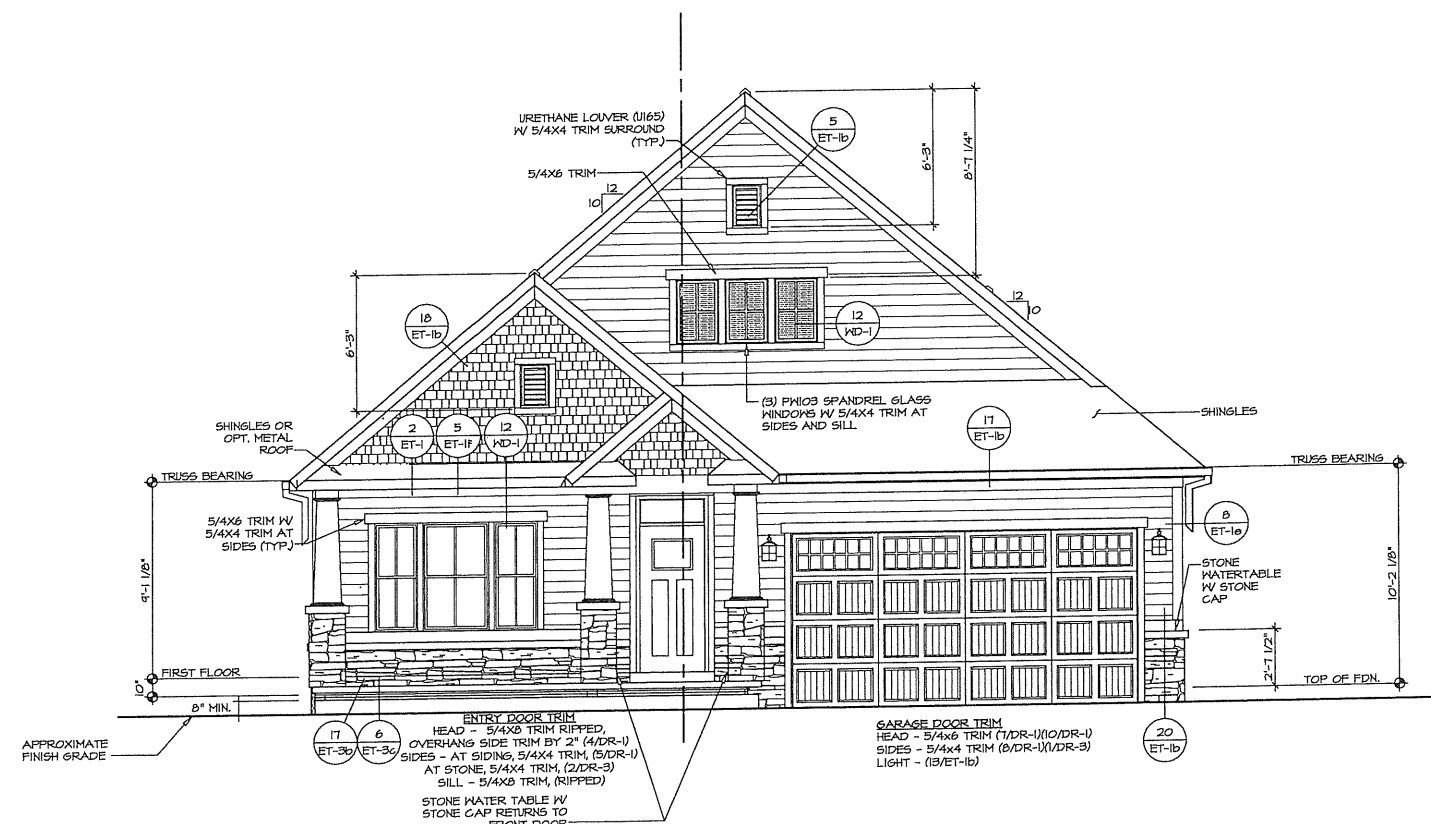
NOTE:
GARAGE DOOR GLASS DESIGN MAY VARY BY MANUFACTURER



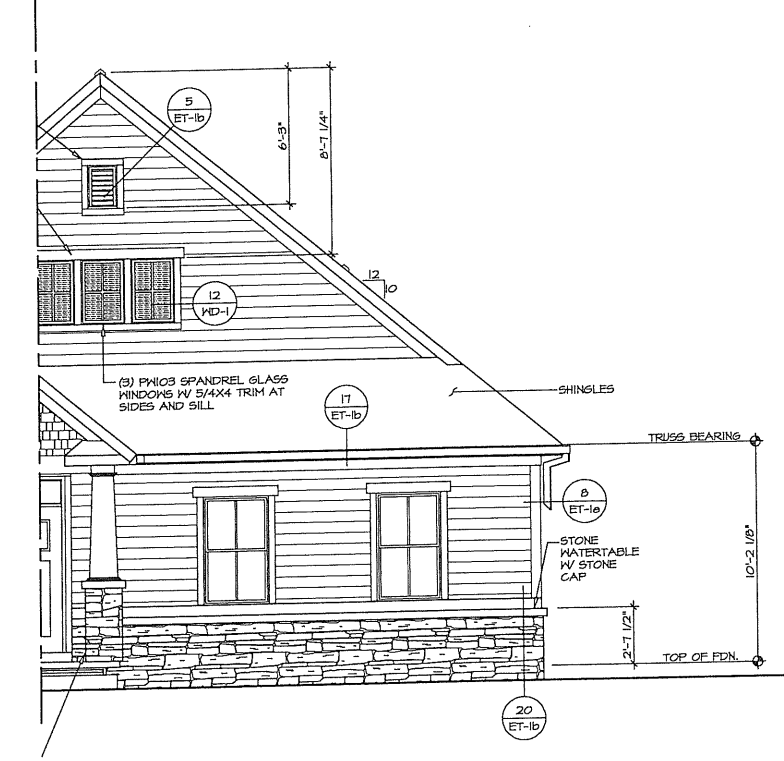
1 FRONT ELEVATION "K"
SCALE: 1/4" = 1'-0" TWO CAR FRONT ENTRY GARAGE "6CB"



2 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0" ELEVATION "K" "ELK"
TWO CAR SIDE ENTRY GARAGE "6CC"



3 FRONT ELEVATION "L"
SCALE: 1/4" = 1'-0" TWO CAR FRONT ENTRY GARAGE "6CB"



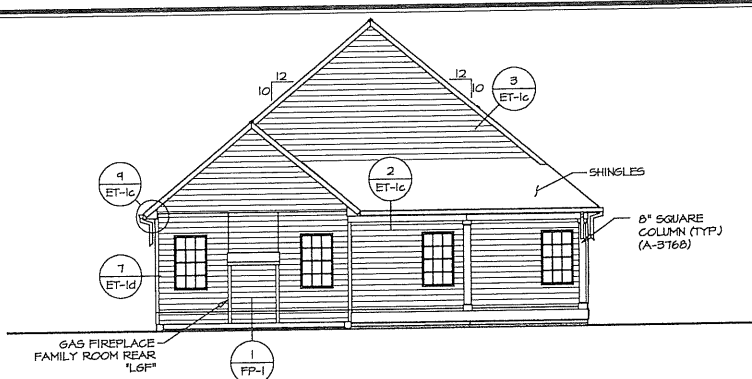
4 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0" ELEVATION "L" "ELL"
TWO CAR SIDE ENTRY GARAGE "6CC"

REV. NO.	DATE	REMARKS
1	4/20/17	SFA - REVISED FRONT DOOR W/ "ELK" AND "ELL" MARKETING ITEM
2	5/19/19	SFA-1 - REVISED GABLE PEDIMENT PLACEMENT PER DETAIL 6/ET-1b (PAR 550245)

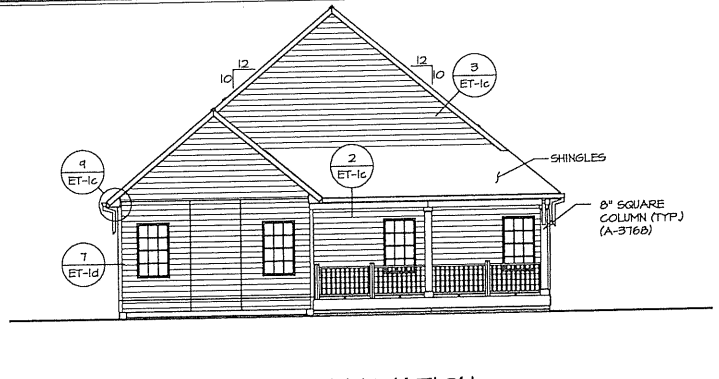
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SHEET NO.	MODEL	SET NO.	FLOOR	VERSION	DATE	DRAWN BY	OPTION
A-1	PALLADIO RANCH	01		01	2/1/17	SFA	FRONT ELEVATION
6							ELEVATION "K", ELEVATION "L", TWO CAR FRONT ENTRY GARAGE TWO CAR SIDE ENTRY GARAGE



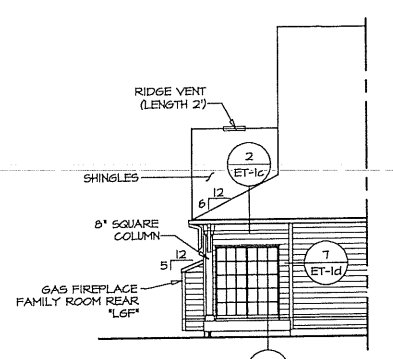
2 REAR ELEVATION
SCALE: 1/8" = 1'-0"
SHOWN W/ GAS FIREPLACE FAMILY ROOM REAR 'L6F'



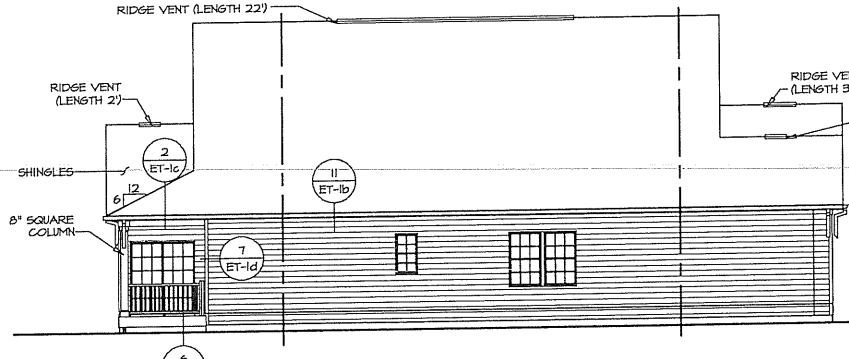
1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
GRILLES IN GLAZING OF ALL EXTERIOR DOORS AND SIDELIGHTS TO BE OMITTED WITH BRONZE WINDOWS.

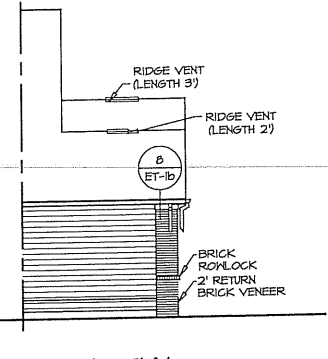
NOTE:
GARAGE DOOR GLASS DESIGN MAY VARY BY MANUFACTURER.



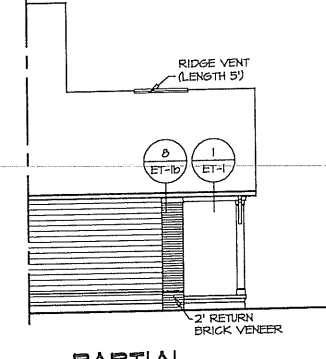
4 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"
SCREENED PORCH 'MSP'
PATIO DOOR FAMILY ROOM 'DPF'



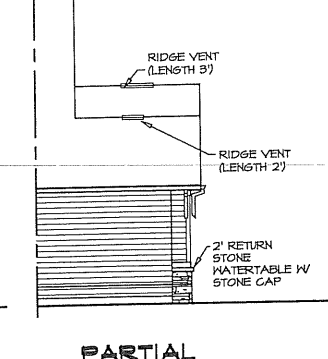
3 LEFT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION A 'ELA'



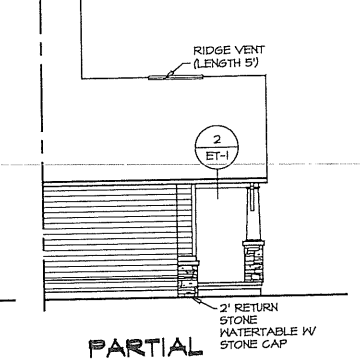
5 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION A 'ELA' SHOWN W/ PARTIAL BRICK VENEER FRONT 'EVM'



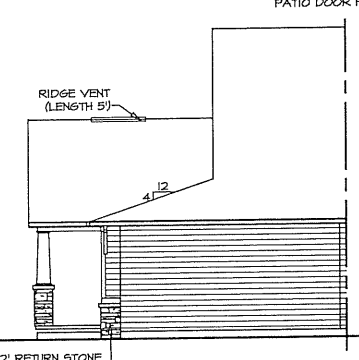
6 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION B 'ELB' SHOWN W/ PARTIAL BRICK VENEER FRONT 'EVM'



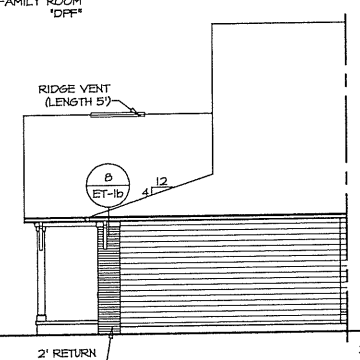
7 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION K 'ELK'



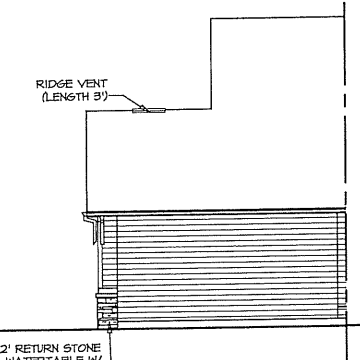
8 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION L 'ELL'



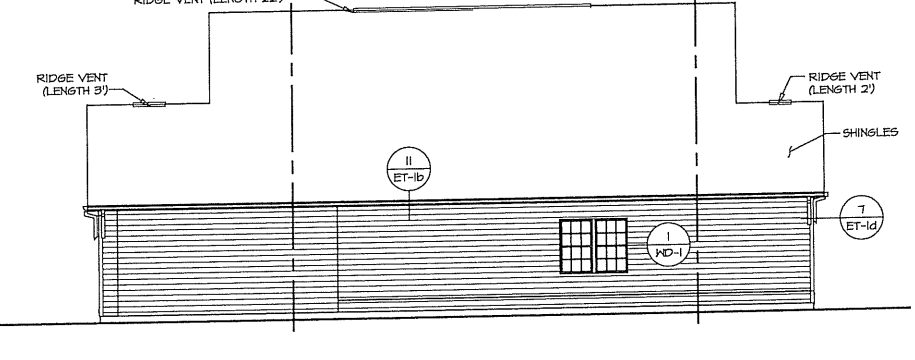
10 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION L 'ELL'



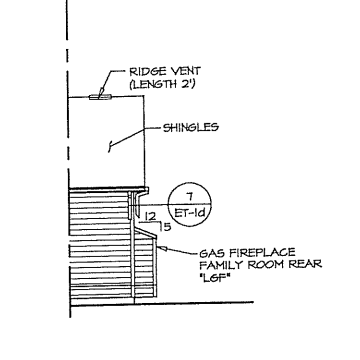
11 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION B 'ELB' PARTIAL BRICK VENEER FRONT 'EVM'



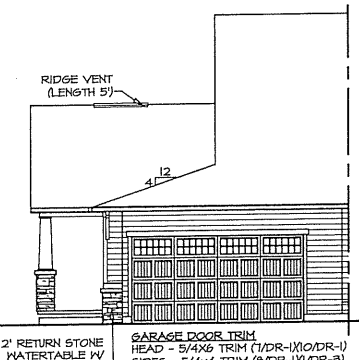
12 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION K 'ELK'



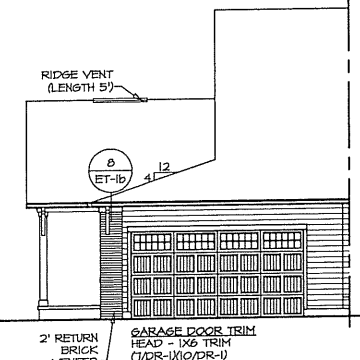
9 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION A 'ELA'



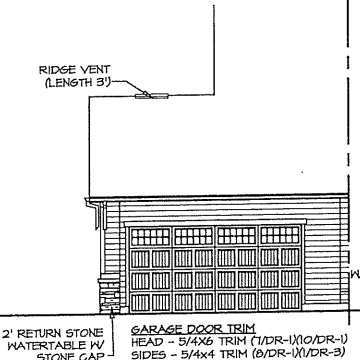
17 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
GAS FIREPLACE FAMILY ROOM REAR 'L6F'



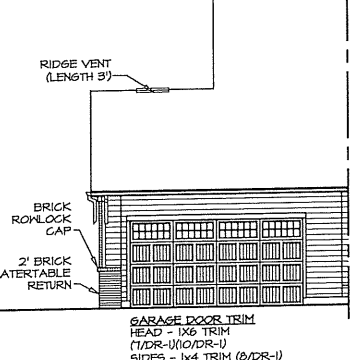
13 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION L 'ELL' TWO CAR SIDE ENTRY GARAGE 'GCC'



14 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION B 'ELB' TWO CAR SIDE ENTRY GARAGE 'GCC' PARTIAL BRICK VENEER 'EVM'



15 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION K 'ELK' TWO CAR SIDE ENTRY GARAGE 'GCC'



16 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION A 'ELA' TWO CAR SIDE ENTRY GARAGE 'GCC' PARTIAL BRICK VENEER 'EVM'

REMARKS

REV. NO. DATE

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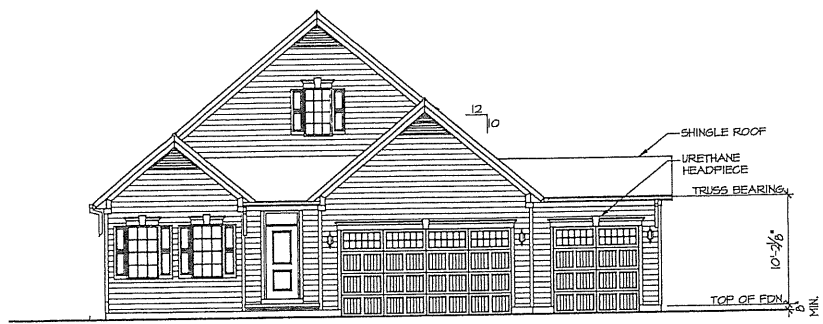
NVR
NVR, Inc. Suite 100
Frederick, MD 21703
5085 Woodstone
10/25/19 - 8:24 am

SET NO. FLD00A
VERSION 01
DRAWN BY SPN
DATE: 2/2/17
OPTION

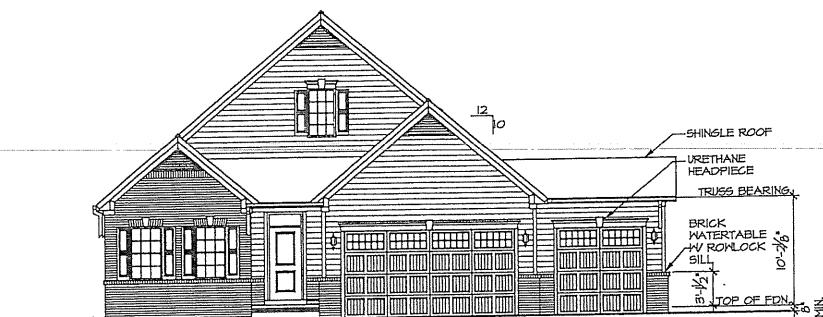
PALLADIO RANCH
SIDE AND REAR ELEVATIONS
ELEVATIONS A, B, K, L
TWO CAR SIDE ENTRY GAR., SCREENED PORCH
GAS FIREPLACE FAMILY ROOM REAR
LGF

SHEET NO. **A-2**

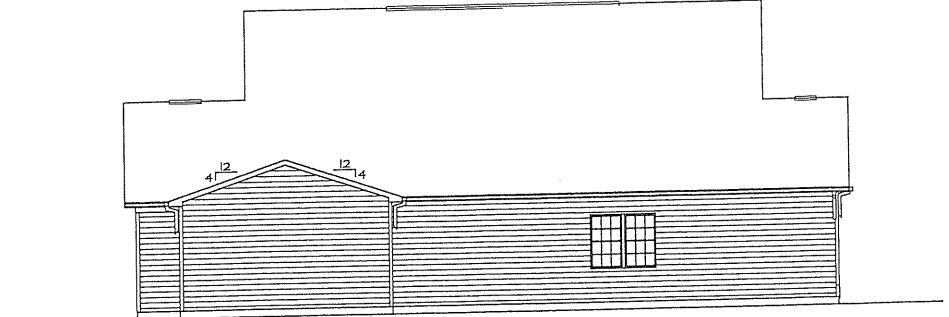
7



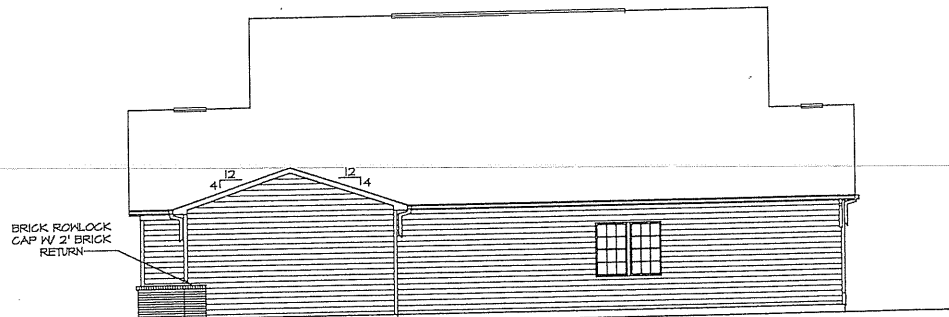
3 FRONT ELEVATION "A"
 A-T1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"
 3 CAR GARAGE - FRONT ENTRY



5 FRONT ELEVATION "A"
 A-T1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"
 3 CAR GARAGE - FRONT ENTRY



4 RIGHT ELEVATION "A"
 A-T1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"



6 RIGHT ELEVATION "A"
 A-T1 SCALE: 1/8" = 1'-0"
 SIDING VENEER FRONT "EVM"
 3 CAR GARAGE - FRONT ENTRY

1 PARTIAL FOUNDATION PLAN
 A-T1 SCALE: 1/4" = 1'-0"
 OPTIONAL 3 CAR GARAGE
 ELEVATION "A" "ELA", "EVM"

2 PARTIAL FIRST FLOOR PLAN
 A-T1 SCALE: 1/4" = 1'-0"
 OPTIONAL 3 CAR GARAGE
 ELEVATION "A" "ELA", "EVM"

LEGEND

[Symbol]	BEARING WALL
[Symbol]	NON BEARING WALL
[Symbol]	INDICATES BEARING FROM POINT-LOAD ABOVE
[Symbol]	JACKS
[Symbol]	BEAM/HEADER
[Symbol]	PAD FOOTING
[Symbol]	STEEL COLUMN
[Symbol]	TRUSS TIE DOWN
[Symbol]	PORTAL FRAME
[Symbol]	JOIST/TRUSS
[Symbol]	LVL
[Symbol]	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

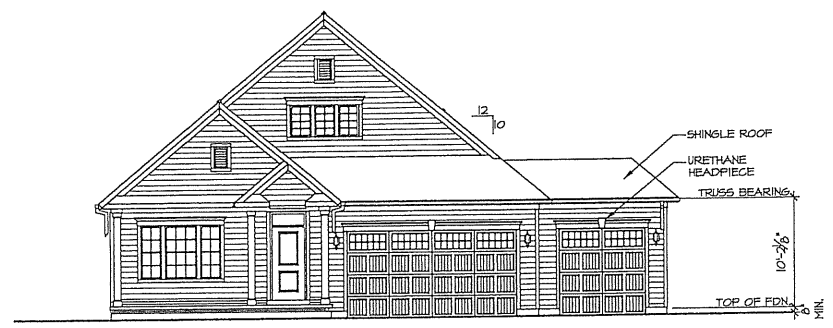
NOTES:

- GENERAL NOTES (N-1)
- SCHEDULES (N-2)
- LVL NAILING SCHEDULE (N-1)
- SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

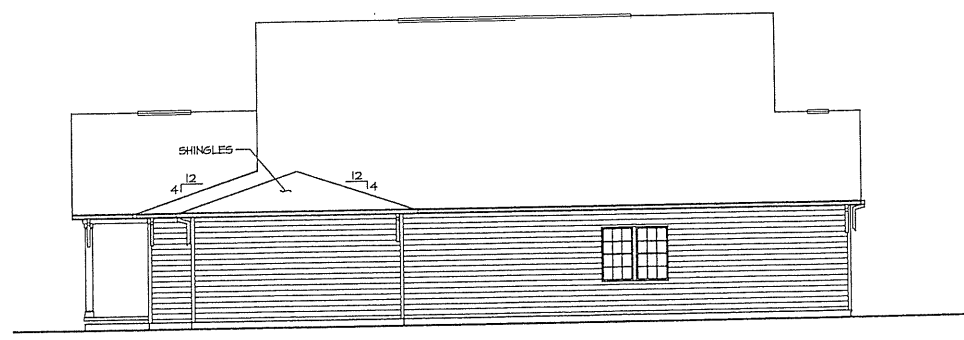
STEEL COLUMNS

COLUMN SIZE AND GRADE FOR ENGINEERING AS SHOWN "SEA". REVISE ALL COLUMNS TO 3" SCH. 40 W/ OPTION "SEB".

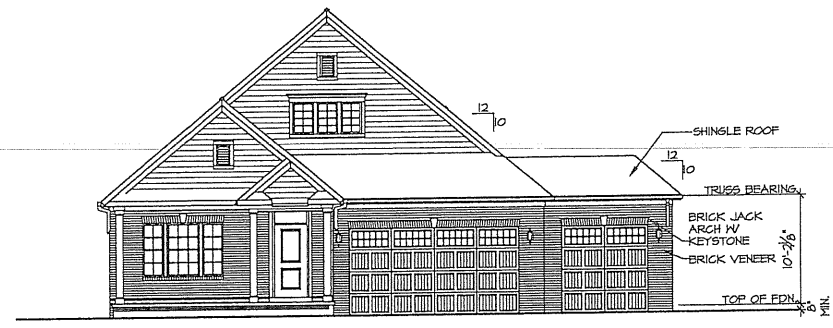
REVISIONS	
REV. NO.	DATE
1	5/4/18
2	5/4/18
REMARKS	
KAD - REVISED OPENING ORIENTATION OF S.G.D. (PAGES 10/24)	
LOV - REVISED KITCHEN ISLAND PER KITCHEN DETAIL UPDATE	
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<p>NVR NVR, Inc., Suite 100 5385 Walkersville Rd. Frederick, MD 21703</p>	
MODEL	PALLIADO
DRAWING TITLE	OPTIONAL 3 CAR GARAGE
OPTION DESCRIPTION	ELEVATION "A"
SHEET NO.	A-7.1
VERSION #	##
DRAWN BY	
DATE	01/14/20
OPTION	
SET NO. #####	
DATE	01/17/20
SCALE	1/4" = 1'-0"
DATE	01/17/20
SCALE	1/4" = 1'-0"
DATE	01/17/20
SCALE	1/4" = 1'-0"



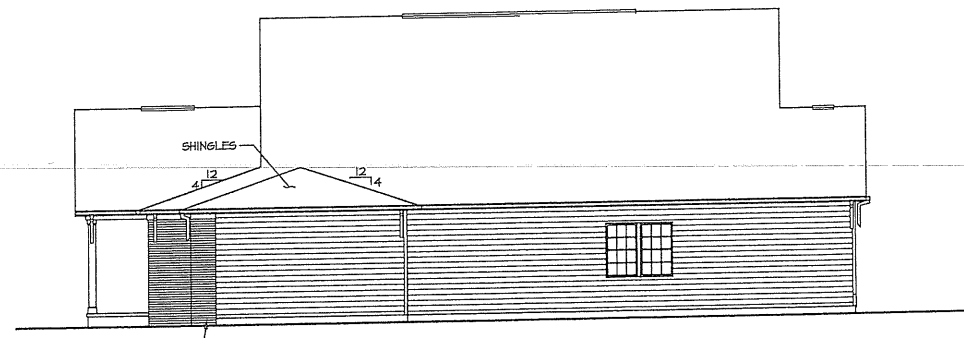
3 FRONT ELEVATION "B"
A-7.2 SCALE: 1/8" = 1'-0" 3 CAR GARAGE - FRONT ENTRY



4 RIGHT ELEVATION "B"
A-7.2 SCALE: 1/8" = 1'-0" 3 CAR GARAGE - FRONT ENTRY



3 FRONT ELEVATION "B"
A-7.2 SCALE: 1/8" = 1'-0" 3 CAR GARAGE - FRONT ENTRY BRICK OPTION



4 RIGHT ELEVATION "B"
A-7.2 SCALE: 1/8" = 1'-0" 3 CAR GARAGE - FRONT ENTRY BRICK OPTION

LEGEND

- BEARING WALL
- - - NON BEARING WALL
- ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
- J JACKS
- B BEAM/HEADER
- F PAD FOOTING
- C STEEL COLUMN
- X TRUSS TIE DOWN
- X PORTAL FRAME
- X JOIST/TRUSS
- LVL LVL
- X ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

NOTES:

1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL NAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

STEEL COLUMNS

COLUMN SIZE AND GRADE PER ENGINEERING AS SHOWN "SEA". REVISE ALL COLUMNS TO 3" SCH. 40 W/ OPTION "SEB".

REMARKS

REV. NO.	DATE	DESCRIPTION
1	4/8/18	4/8/18 I/CAD - REVISED OPENING ORIENTATION OF 5.6' D. (PAR. 5/18/24)
2	5/18/18	5/18/18 I/CAD - REVISED KITCHEN ISLAND PER KITCHEN DETAIL UPDATE

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SET NO. #####	VERSION ##	DRAWN BY	DATE
			01/14/20
		OPTION	

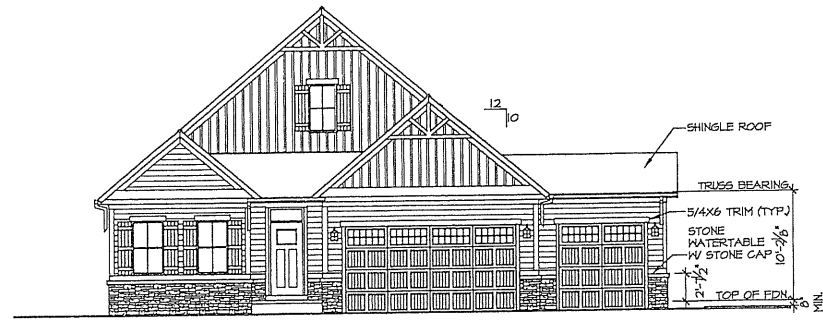
SHEET NO.	MODEL	OPTION DESCRIPTION
A-7.2	PALLIADO	OPTIONAL 3 CAR GARAGE
##		ELEVATION "B"



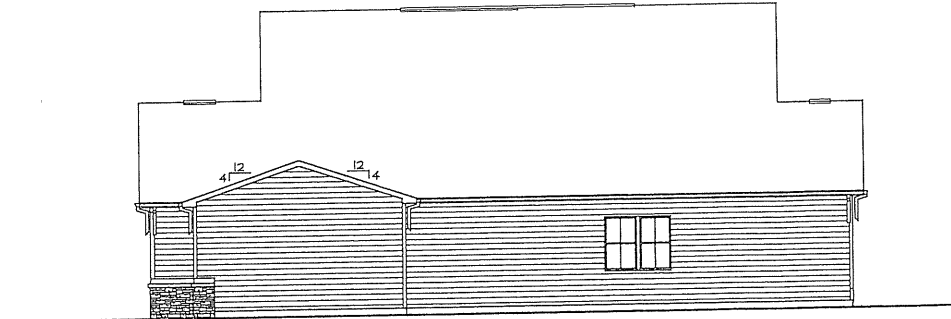
1 PARTIAL FOUNDATION PLAN
A-7.2 SCALE: 1/4" = 1'-0" OPTIONAL 3 CAR GARAGE ELEVATION "B" "ELB"



2 PARTIAL FIRST FLOOR PLAN
A-7.2 SCALE: 1/4" = 1'-0" OPTIONAL 3 CAR GARAGE ELEVATION "B" "ELB"



2 FRONT ELEVATION "K"
SCALE: 1/8" = 1'-0" 3 CAR GARAGE - FRONT ENTRY



3 RIGHT ELEVATION "K"
SCALE: 1/8" = 1'-0" 3 CAR GARAGE - FRONT ENTRY

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
 - ⌋ JACKS
 - ⊖ BEAM/HEADER
 - ⌋ PAD FOOTING
 - ◇ STEEL COLUMN
 - ⊗ TRUSS TIE DOWN
 - ⌋ PORTAL FRAME
 - ⊗ JOIST/TRUSS
 - LVL
 - ⊗ ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

NOTES:

1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL MAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

STEEL COLUMNS

COLUMN SIZE AND GRADE PER ENGINEERING AS SHOWN 'SEA'. REVISE ALL COLUMNS TO 3" SCH. 40 W/ OPTION 'SEB'.

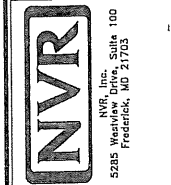
1 PARTIAL FOUNDATION PLAN
SCALE: 1/4" = 1'-0" OPTIONAL 3 CAR GARAGE ELEVATION "K" "ELK"

1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" OPTIONAL 3 CAR GARAGE ELEVATION "K" "ELK"

REMARKS

REV. NO.	DATE	DESCRIPTION
1	4/2/18	KAD - REVISED OPENING ORIENTATION OF 5/6" D. PAR. (191924)
2	5/9/18	CVB - REVISED KITCHEN ISLAND PER KITCHEN DETAIL UPDATE

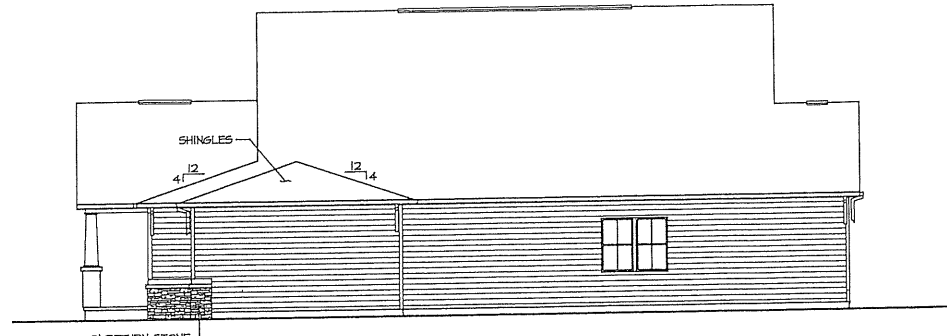
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SHEET NO.	MODEL	SET NO. #####
A-7.3	PALLIADO	VERSION ##
	DRAWING TITLE	DRAWN BY
	OPTIONAL 3 CAR GARAGE	DATE: 01/14/20
	OPTION DESCRIPTION	OPTION
	ELEVATION "K"	
##		



2 FRONT ELEVATION "L"
 SCALE: 1/8" = 1'-0"
 3 CAR GARAGE - FRONT ENTRY



3 RIGHT ELEVATION "L"
 SCALE: 1/8" = 1'-0"
 3 CAR GARAGE - FRONT ENTRY

LEGEND

[Symbol]	BEARING WALL
[Symbol]	NON BEARING WALL
[Symbol]	INDICATES BEARINGS FROM POINT-LOAD ABOVE
[Symbol]	JACKS
[Symbol]	BEAM/HEADER
[Symbol]	PAD FOOTING
[Symbol]	STEEL COLUMN
[Symbol]	TRUSS TIE DOWN
[Symbol]	PORTAL FRAME
[Symbol]	JOIST/TRUSS
[Symbol]	LVL
[Symbol]	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

NOTES:

- GENERAL NOTES (N-1)
- SCHEDULES (N-2)
- LVL NAILING SCHEDULE (N-1)
- SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

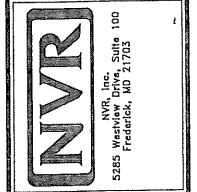
STEEL COLUMNS
 COLUMN SIZE AND GRADE PER ENGINEERING AS SHOWN "SEA".
 REVISE ALL COLUMNS TO 3" SCH. 40 W/ OPTION "SEB".

1 PARTIAL FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 OPTIONAL 3 CAR GARAGE ELEVATION "L" "ELL"

1 PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 OPTIONAL 3 CAR GARAGE ELEVATION "L" "ELL"

SHEET NO. A-7.4	MODEL PALLIADO	SET NO. #####	DATE 01/14/20
	DRAWING TITLE OPTIONAL 3 CAR GARAGE ELEVATION "L"	VERSION #	OPTION
##			

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REV. NO.	DATE	REMARKS
1	4/20/19	ICAD - REVISED OPENING ORIENTATION OF S.A.P. (PAR #9924)
2	5/4/19	CXB - REVISED KITCHEN ISLAND PER KITCHEN DETAIL UPDATE