

Village of Gilberts

Village Hall: 87 Galligan Road, Gilberts, Illinois 60136

Ph. 847-428-2861 Fax: 847-428-2955

www.villageofgilberts.com

Village Plan Commission / ZBA Meeting Agenda

Wednesday, April 12, 2023 – 7:00 p.m. - Village Hall Board Room

In accordance with recent amendments to the Open Meetings Act that authorize remote meeting attendance during the COVID-19 pandemic, the Chair of the Plan Commission has determined that it is not prudent or practical to conduct an in-person meeting for all members of the Plan Commission and the public due to the pandemic. Therefore, some or all of the Plan Commission members may attend this meeting by electronic means, in compliance with the amended OMA.

In order to comply with the Governor's executive orders regarding limitations on gatherings and to ensure social distancing, members of the public are encouraged to attend and participate in the meeting remotely via video or audio as follows:

Zoom (video and/or audio): <https://us06web.zoom.us/j/82919521303>

Meeting ID: 829 1952 1303

Dial-In (audio): (312) 626-6799

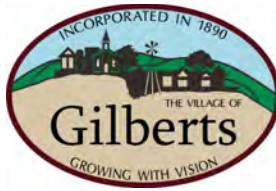
Members of the public can also submit written comments via email at info@villageofgilberts.com. Any comments received by 5:00 p.m. on April 12, 2023 will be submitted into the record of the meeting.

ORDER OF BUSINESS

1. CALL TO ORDER
2. ROLL CALL / ESTABLISH QUORUM
3. PUBLIC COMMENT *
4. ITEMS FOR APPROVAL
 - A. A Motion to Approve Minutes from the March 8, 2023 Plan Commission Meeting
5. PUBLIC HEARING AND RECOMMENDATION TO THE VILLAGE BOARD REGARDING VARIANCE REQUESTS FROM WALL SIGN RESTRICTIONS FOR RED BARN ANIMAL HOSPITAL
6. PUBLIC HEARING AND RECOMMENDATION TO THE VILLAGE BOARD REGARDING A VARIANCE REQUEST FROM PARKING REQUIREMENTS RELATED TO AN EXPANSION OF PUB 72.
7. PUBLIC HEARING AND RECOMMENDATION TO THE VILLAGE BOARD REGARDING A SPECIAL USE PERMIT REQUEST FOR OUTDOOR DINNING AND FOR VARIANCES RELATED TO A WALL SIGN AT CRUISIN'.
8. NEW BUSINESS
9. OTHER BUSINESS
10. ADJOURNMENT

The Village of Gilberts complies with the Americans Disabilities Act (ADA). For accessibility Assistance, please contact the Village Clerk at the Village Hall, telephone number is 847-428-2861. Assistive services will be provided upon request.

* Intended for public comment on issues not otherwise on the agenda.



**MINUTES FOR VILLAGE OF GILBERTS
PLAN COMMISSION/ZONING BOARD OF APPEALS MEETING
Village Hall: 87 Galligan Road, Gilberts, IL 60136
Meeting Minutes
Wednesday, March 8, 2023**

1. CALL TO ORDER

Chairman Mills called the meeting to order at 7:00 p.m.

2. ROLL CALL / ESTABLISH QUORUM

Village Clerk Kelly Mastera called the roll. Roll call of Members present: Commissioners McHone, Del Vecchio, Sullivan, Lateer, and Chairman Mills. Commissioners Borgardt and Page were absent. Others present: Village Administrator Brian Bourdeau, Management Analyst Riley Lynch, and Village Attorney Kurt Asprooth.

3. PUBLIC COMMENT

There were no public comments at this time.

4. ITEMS FOR APPROVAL

A. A Motion to Approve Minutes from the January 9, 2023 Plan Commission Meeting

A Motion to Approve Item 4.A. was made by Commissioner McHone and seconded by Commissioner Lateer. Roll call vote: Commissioners McHone, Del Vecchio, Sullivan, Lateer, and Chairman Mills voted Aye (5). Nays (0). Absent (2).

5. CONSIDERATION AND RECOMMENDATION TO THE VILLAGE BOARD REGARDING AN AMENDMENT TO A SPECIAL USE AND VARIANCE REQUESTS FOR THE PURPOSES OF INSTALLING AN LED GROUND SIGN AT ST. PETER'S LUTHERAN CHURCH

A Motion to Open the Public Hearing was made by Commissioner Sullivan and seconded by Commissioner McHone. Roll call vote: Commissioners McHone, Del Vecchio, Sullivan, Lateer, and Chairman Mills voted Aye (5). Nays (0). Absent (2).

Analyst Lynch briefly provided the Commissioners with an overview of the requests by the church and a few considerations the Commission may want to consider.

The Commission members and Analyst Lynch discussed concerns regarding the brightness of lights in the LED sign for drivers and nearby homeowners. Analyst Lynch explained that the applicant submitted a letter from the sign manufacturer, Rafael Plazola who was in attendance, confirming the maximum amount of brightness the sign would be able to go. Mr. Plazola also addressed concerns regarding the cone of vision from the sign's lights. The Commission further discussed the placement

of the sign and the hours during which the LED message board portion of the sign would be illuminated.

A Motion to Close the Public Hearing was made by Commissioner Lateer and seconded by Commissioner Del Vecchio. Roll call vote: Commissioners McHone, Del Vecchio, Sullivan, Lateer, and Chairman Mills voted Aye (5). Nays (0). Absent (2).

A Motion was made by Commissioner McHone to Recommend Approval of the Amended Special Use and Variances for the 8 x 12-foot LED Sign for St. Peter's with the following two conditions: 1) the sign's nonoperational hours from 9:00 p.m. to 6:00 a.m. seven days a week and 2.) the sign be setback to 25 from the front edge of the sign.

Roll call vote: Commissioners McHone, Del Vecchio, Sullivan, Lateer, and Chairman Mills voted Aye (5). Nays (0). Absent (2). Motion carried.

- 6. NEW BUSINESS** – Analyst Lynch said the Comprehensive Plan is progressing nicely and later this week the consultants will be launching the Virtual Village Hall which includes surveys. Administrator Bourdeau explained there will probably be new things coming up in April having to do with Pub 72 and Cruisins.

7. OTHER BUSINESS – None.

8. ADJOURNMENT

There being no further public business to discuss, *a Motion was made by Commissioner McHone and seconded by Commissioner Lateer to adjourn from the public meeting at 7:29 p.m.* Voice vote of Aye carried unanimously (5). Motion carried.

Respectfully submitted,

Kelly Mastera

Kelly Mastera, Village Clerk



Village of Gilberts

Village Hall
87 Galligan Road, Gilberts, Illinois 60136
Ph. 847-428-2861 Fax: 847-428-2955
www.villageofgilberts.com

To: Plan Commission
From: Riley Lynch, Management Analyst
Cc: Brian Bourdeau, Village Administrator
Date: April 12, 2023 Plan Commission Meeting
Re: Item 5 – Consideration and Recommendation to the Village Board of Trustees Regarding Variance Requests from Wall Sign Requirements for Red Barn Animal Hospital.

Summary:

Red Barn Holdings, LLC is requesting (1) a variance to allow a wall sign not oriented towards an adjacent roadway, and (2) a variance to allow two wall signs to protrude higher than 20 feet.

Background:

Red Barn Holdings, LLC (“*Applicant*”) owns the property known as Unit 1A of Gilberts Town Center situated between Higgins Road, Center Drive, and Rollyn L. Anderson Lane (PIN: 02-24-155-003).

The Applicant’s property is zoned as C-1 Commercial. To the north is Town Square Park. To the east is a detention reservoir and undeveloped C-1 commercial parcel of land. To the South is an I-1 Industrial district home to multiple businesses. To the west of the property are C-1 commercial properties and further west are residences part of the Old Town zoning district.

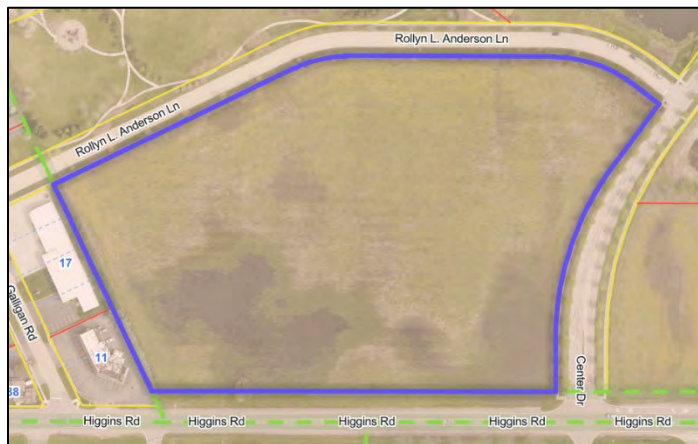


Figure 1 - GIS Snapshot of Red Barn’s Parcel

On April 4th 2022, the Applicant received approval of a special use permit to operate an animal hospital on this property. Since then, construction on the main building has progressed and the Applicant hopes to open for business at this location soon. With the majority of the primary structure’s construction complete or nearing completion, the Applicant is looking to install 2 face-lit illuminated wall signs to help identify their business. One of the signs will go on the front of the building and be visible to west-bound traffic on Route 72. The sign will say “Red Barn Animal Hospital” and protrude up to about 28.75 feet off the ground at the highest point. The other wall sign is desired to go on the back of the building so that’s its visible to east-bound traffic on Route 72. That sign is to depict the silhouettes of a dog and cat and will extend to about 26.75 feet off the ground at the highest point. See figures 2-3 and the attached exhibits for more details.

Points for Discussion:

In considering the Applicant's request for variances, the Plan Commission should review the standards for variations as outlined in Section 11-10(F) of the UDO:

Standards for Variations.

1. *General Standard. No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty.*
2. *Supplemental Standards. In considering proposed variations to this code, the Board of Appeals will consider whether the proposed variation will:*
 - a. *Impair an adequate supply of light and air to adjacent property.*
 - b. *Unreasonable increase the congestion in public streets.*
 - c. *Increase the danger of fire or endanger the public safety.*
 - d. *Unreasonably diminish or impair established property values within the surrounding area.*
 - e. *In any other respects impair the public health, safety, or welfare of the inhabitants of the village.*
3. *Findings of Fact. Upon review of the application and information presented at the public hearing, the Board of Appeals shall consider and adopt findings of fact sustaining each of the following criteria which are consistent with the rules provided to govern determinations of the Board of Appeals as referenced by state statute.*
 - a. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district.*
 - b. *The extraordinary or exceptional conditions of the property requiring the request for the variance were not caused by the applicant.*
 - c. *The proposed variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship.*
 - d. *The denial of the proposed variance will deprive the applicant the use permitted to be made by the owners of property in the immediate area.*
 - e. *The proposed variance will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested.*
 - f. *There is no other means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.*

See Exhibit 2 for the Applicant's response to these standards

Attachments:

- Exhibit 1 – Notice of Public Hearing
- Exhibit 2 – Application for a Variance
- Exhibit 3 – GTC Lot 290 Plat of Survey
- Exhibit 4 – Proposed Wall Sign Designs

VILLAGE OF GILBERTS
PUBLIC NOTICE REGARDING A HEARING ON A SPECIAL USE APPLICATION

PUBLIC NOTICE IS HEREBY GIVEN that the Gilberts Plan Commission will conduct a public hearing on Wednesday, April 12, 2023, at 7:00 p.m. at the Gilberts Village Hall, 87 Galligan Road, Gilberts, Illinois, to consider an application from Red Barn Holdings, LLC (“Applicant”) concerning the property located at the northwest corner of Route 72 and Center Drive, Gilberts, Illinois, and identified by PIN 02-24-155-003 (“Property”). The Applicant requests approval of variances from Section 9-2 of the Gilberts Unified Development Ordinance to allow for the installation of two wall signs that exceed the maximum height requirements, and for such other and further zoning relief as may be required.

All persons interested in the variance application should attend and will be given an opportunity to provide written and oral testimony. Members of the public can also submit written comments via email at info@villageofgilberts.com. Additional information about the variance application and the public hearing are available from the Village of Gilberts at (847) 428-2861. The public hearing may be continued from time to time without further public notice.

Gilberts Plan Commission
Village of Gilberts

Zoning and Development Application Fees

Below is a summary fee schedule of common fees required throughout the development process. Exact fees related to development may vary based on use or on zoning. For any questions on the fee schedule as related to zoning and development, please contact Village Hall at (847) 428-2861.

Zoning Fee Schedule - Village Code 2-4-13

<input type="checkbox"/> Site plan review (Variable Escrow)	\$5,000.00
<input type="checkbox"/> Appeals to zoning board	\$300.00
<input type="checkbox"/> Petitions to plan commission	\$50.00
<input type="checkbox"/> Zoning map amendments	\$100.00
▪ Plus \$20.00 per acre. Number of Acres: _____	
<input type="checkbox"/> Planned unit developments	\$100.00
▪ Plus \$20.00 per acre. Number of Acres: _____	
<input type="checkbox"/> Special use permits:	
<input type="checkbox"/> Home occupations	\$25.00
<input type="checkbox"/> All others	\$500.00
<input checked="" type="checkbox"/> Variations	\$500.00
<input type="checkbox"/> Continued, postponed and multiple meetings, per meeting	\$53.00

Petitioners seeking annexation agreements must contact the Village to determine applicable fees.

In addition to the filing fee set out in this section, each petitioner shall reimburse the village for the fees and costs incurred thereby for publication, consultant, legal, engineer, planning and architect fees incurred in relation to such petition or review.

The site plan review fee, specified above, shall be considered a deposit to establish an escrow toward the hourly fees incurred by the village in such review as otherwise stated above.

Application for Development Approval

Please complete this section before any other part of this packet.

Development name: Red Barn Holdings, LLC

Address of subject property: Unit 1A Gilberts Town Center (NEC of NWC of Higgins Road and Center Dr.

Parcel identification number (P.I.N.): 02-24-155-003

I. Applicant: Red Barn Holdings, LLC

Address: 126 Park St., PO Box 208

City: Hampshire State: IL Zip code: 60140

Phone: 847-914-4364 Email: drstover@redbarnpetvet.com

II. Property Owner(s): Red Barn Holdings, LLC

Address: 126 Park St., PO Box 208

City: Hampshire State: IL Zip code: 60140

Phone: 847-914-4364 Email: drstover@redbarnpetvet.com

III. Primary contact: Scott Richmond, Esq.

Check one that best applies:

Owner Attorney Engineer Broker Other: _____

Phone: 847-695-2400 Email: sgr@attorneys-illinois.com

IV. Other staff

Name: Legacy Sign Group - Shaun O'Brien

Owner Attorney Engineer Broker Other: Sign Company

Phone: 219-406-0218 Email: shauno@legacysigngroup.com

Name: _____

Check one that best applies:

Owner Attorney Engineer Broker Other: _____

Phone: _____ Email: _____

V. PROPOSED DEVELOPMENT

Check all that apply and provide written responses to corresponding exhibits on a separate sheet. If unsure contact Village Hall at 847-428-2861 or development@villageofgilberts.com.

Site Plan Review
(Complete Exhibit 1)

Zoning Appeal
(Complete Exhibit 5)

Special Use (New or Amendment)
(Complete Exhibit 2)

Zoning Interpretation
(Complete Exhibit 6)

Variance Request
(Complete Exhibit 3)

Planned Unit Development
(Complete Exhibit 7)

Rezoning or Text Amendment
(Complete Exhibit 4)

Temporary Use
(Complete Exhibit 8)

Subdivision/Annexation
(Please contact Staff)

Other (Please Specify _____)

Acreage of property: 13.37 acres


Description of proposal/use (use the following page or a separate sheet if necessary):

Veterinary Clinic and private dog park as ancillary use for veterinary clinic. Future use for dog grooming/boarding.

VI. APPLICANT'S SIGNATURE

I, Scott G. Richmond, Esq. [Applicant's Printed Name and Title], being duly sworn, declare that: i) I am duly authorized to make this Application for Development Approval on behalf of the Applicant; ii) I have read and understand this Application for Development Approval, and the Village of Gilberts UDO, available online [here](#).

I have read, understand, and will comply by the provisions of the Village Code, found [here](#) online regarding reimbursement of the Village's costs; and iv) the above information, to the best of my knowledge, is true and accurate.


(Signature of Applicant or authorized agent)

March 14, 2023
(Date)

SUBSCRIBED AND SWORN TO before me this 14th day of March, 2023


(Notary Public and Seal)



VII. OWNER'S AUTHORIZATION LETTER

I/we hereby certify that I/we am/are the owner(s) of the above-described Subject Property. I/we am/are respectfully requesting processing and approval of the request(s) referenced in this Application. I/we hereby authorize the Applicant listed on this Application to act on my/our behalf during the processing and presentation of this request(s).

Katy Stover, owner
(Signature of 1st Owner or authorized agent)

2/24/2023
(Date)

(Signature of 2nd Owner or authorized agent)

(Date)

Red Barn Holdings, LLC by Dr. Katy Stover

2nd Owner Printed Name and Title

1st Owner's Printed Name and Title

****Please include additional pages if the Subject Property has more than two owners****

SUBSCRIBED AND SWORN TO before me this 24th day of February, 2023

Scott G Richmond
(Notary Seal and Signature)



VIII. DISCLOSURE OF BENEFICIARIES

Name: Red Barn Holdings, LLC

Address: 126 S. Park St., PO Box 208, Hampshire, IL 60140

Nature of Benefit sought: Variation in height of signage

Nature of Applicant: (please check one)

Natural Person

Trust/Trustee

Corporation

Partnership

Land Trust/Trustee

Joint Venture

If applicant is not an entity described above, briefly state the nature of the applicant(s):
Limited Liability Company

In your answer above, if you checked box b, c, d, e or f. identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of C3Se of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

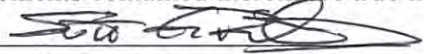
	<u>Name</u>	<u>Address</u>	<u>Interest</u>
a)	Dr. Katie Stover	126 S. Park St., PO Box 208, Hampshire, IL 60140	Member/Owner
b)			
c)			
d)			

Name, address and capacity of person making this disclosure on behalf of the applicant:
Scott Richmond, Esq. 2000 McDonald Rd., Ste. 200, South Elgin, IL 60177

Important Note: In the event your answers above identify entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION

I, Scott Richmond, Esq. being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.


Subscribed and sworn to before me this 14th day of March, 2023.



(Notary Seal and Signature)



Exhibit 3: Variance Requests

A. Checklist of Required Submittals

- A site plan in accordance with Exhibit 1 of this development packet.
- Additional information may be required by the Village.

B. Variance Request Details

Please provide a written narrative that responds to the following standards below. Use the next page or another sheet of paper for your responses.

1. Indicate the section(s) of the code from which a variance is requested.

9-2(L)(4) - Signs - Seeking variance from code requirement that sign cannot be positioned higher than 20' from grade;

9-2(L)(1)(a)(1) Signs - Seeking variance from code requirement for second sign on wall not facing public street.

2. Statement regarding the request, giving distances and dimensions where appropriate.

Sign is to be placed on front entrance to veterinary clinic on East side of building. The sign will be located over 200'

west of Center Dr. The proposal is to erect the sign at a height of 25'-4 1/2" from grade and a max. height of 28'-9 1/4"

Second sign is to be placed on West facade. The proposal is to erect the sign at a height of 20'-2" from grade and a

max. height of 26'-9".

3. Give a description of conditions and/or hardship which justify the need for a variance.

The architecture of the building and the topography of the land do not permit the signs to be located at a maximum

height of 20' from grade. In addition, due to its proximity to Center Dr. the east sign must be higher to be properly viewed

from the roadway.

4. Date(s) of any previous application for a variance and the result of them.

None.

5. Additional information as required by the Village.

Proposed signage plans attached. Per agreement with Brian Bourdeau, original site plan submitted for Special Use

Permit is enclosed herewith.

C. Responses to Standards

Standards for Variations (See 10-11-10F of UDO)

Please provide a written narrative that responds to the following standards below. Use the next page or another sheet of paper for your responses.

1. *General Standard.* No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty.

2. *Supplemental Standards.* In considering proposed variations to this code, the Board of Appeals will consider whether the proposed variation will:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonable increase the congestion in public streets.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the surrounding area.
 - e. In any other respects impair the public health, safety, or welfare of the inhabitants of the village.

3. *Findings of Fact.* Upon review of the application and information presented at the public hearing, the Board of Appeals shall consider and adopt findings of fact sustaining each of the following criteria which are consistent with the rules provided to govern determinations of the Board of Appeals as referenced by state statute.
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district.
 - b. The extraordinary or exceptional conditions of the property requiring the request for the variance were not caused by the applicant.
 - c. The proposed variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship.
 - d. The denial of the proposed variance will deprive the applicant the use permitted to be made by the owners of property in the immediate area.
 - e. The proposed variance will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested.
 - f. There is no other means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.

RED BARN HOLDINGS, LLC PROJECT NARRATIVE

Red Barn Holdings, LLC is the owner of the real property located at the northwest corner of Higgins Road and Center Drive in the Village of Gilberts. This property is roughly 13.37 acres in size.

Red Barn Holdings, LLC is constructing a veterinary clinic on the eastern half of the overall lot along Center Drive and Higgins Road and it is a Barn style veterinary clinic known as Red Barn Animal Hospital. Red Barn Animal Hospital currently operates its facility at 141 E. Higgins Road, Gilberts, IL and will relocate to this new facility upon completion. The remainder of the lot will remain vacant for future development.

It was determined when plans were drawn for signage on the property that a variance is required for the business sign proposed to be affixed to the eastern façade of the veterinary clinic. The height of the sign is required to be no higher than 20' from grade. Due to the architecture of the building façade and the elevations of the site, this will prevent Red Barn from being able to erect the sign and allow it to be seen from Center Dr.

Additionally, Red Barn Animal Hospital is seeking to erect a second wall sign on the west façade of the building which is not facing a public street. This sign will also be higher than 20' from grade and will match the height of the east facing sign. The sign will show a dog and cat and will not contain any wording.

The following are Red Barn Holdings, LLC's responses to the Standards for Variations:

1. **General Standard:** Carrying out the strict letter of Section 9-2 of the Code will create a hardship for Red Barn Holdings, LLC. It will mean that the sign would have to be erected over the window feature on the east façade of the building and will detrimentally affect the architecture. In addition, the sign will be less visible from Center Dr. due to existing elevations on the site.

2. **Supplemental Standards:**

a. The erection of the east facing signage at a height of 25'-4 ½" from grade and a total height of 28'-9 ¼" from grade will not impair an adequate supply of light and air to adjacent property. The sign is to be erected on the existing east facing façade of the building. The second sign, to be erected on the west façade at a height of 20'2" from grade and a total height of 26'-9" from grade will not impair an adequate supply of light or air to adjacent property.

b. The variations for signage heights and locations will not unreasonably increase the congestion on public streets.

- c. The variations for signage heights and location will not increase the danger of fire or endanger the public safety. The signage will be securely fastened to the building façade on both sides.
- d. The variations for signage heights and location will not unreasonably diminish or impair established property values within the surrounding area. This is a commercial district where businesses regularly erect signage.
- e. The variations for signage heights and location will not impair public health, safety, or welfare of the inhabitants of the Village. The signage is merely to identify the business name on the east side and a visual image of a dog and cat on the west side. Both signs will not be changeable signs nor will they have any video components to them.

3. Findings of Fact:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district. Without proper signage on the building it will be harder to identify that it is a veterinary clinic.
- b. The extraordinary or exceptional conditions of the property requiring the request for variance were not caused by the applicant. The applicant proposed a barn style building with a window feature which was approved by the Village. The natural elevations of the property do not allow the signs to only be placed at 20' above grade without interfering with the window feature and materially altering the aesthetic design of the building.
- c. The propose variances will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship. The natural elevations of the property do not allow the sign to only be placed at 20' above grade without interfering with the window feature and materially altering the aesthetic design of the building. In addition, the ordinance not allowing signs on the side of buildings not facing a public roadway impedes the ability to show this building as a veterinary clinic because it faces east-west and the proposed second sign on the west side will allow drivers along Route 72 heading east to identify the building as a veterinary clinic.
- d. The denial of the proposed variances will deprive the applicant the use permitted to be made by the owners of the property in the immediate area. The signage cannot be erected at a height without interfering with the aesthetics and design of the east and west façade as previously approved by the Village.
- e. The proposed variances will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested. Allowing the signage to be placed at the proposed heights and locations will make the east and west façades architecturally

congruent and will allow the signage to be properly visible from surrounding roadways. The west side sign will be aesthetically pleasing and add to the visual architecture of the building.

f. There is no other means other than the requested variations by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property. The proposed heights and location of the signage will balance the east and west façade architecture. Lowering the signage will aesthetically interfere with the design of the building.

Supplemental Graphics

Zoning Fee Schedule, UDO 2-4-13

Site plan review	\$5,000.00
Appeals to zoning board	\$300.00
Petitions to plan commission	\$50.00
Zoning map amendments	\$100.00
- Plus \$20.00 per acre	
Planned unit developments	\$100.00
- Plus \$20.00 per acre	
Special use permits:	
Home occupations	\$25.00
All others	\$500.00
Variations	\$500.00
Continued, postponed and multiple meetings, per meeting	\$53.00

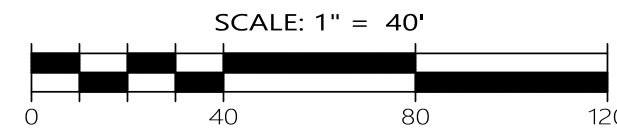
In addition to the filing fee set out in this section, each petitioner shall reimburse the village for the fees and costs incurred thereby for publication, consultant, legal, engineer, planning and architect fees incurred in relation to such petition or review.

The site plan review fee, above specified, shall be considered a deposit toward the hourly fees incurred by the village in such review as otherwise stated in this section.

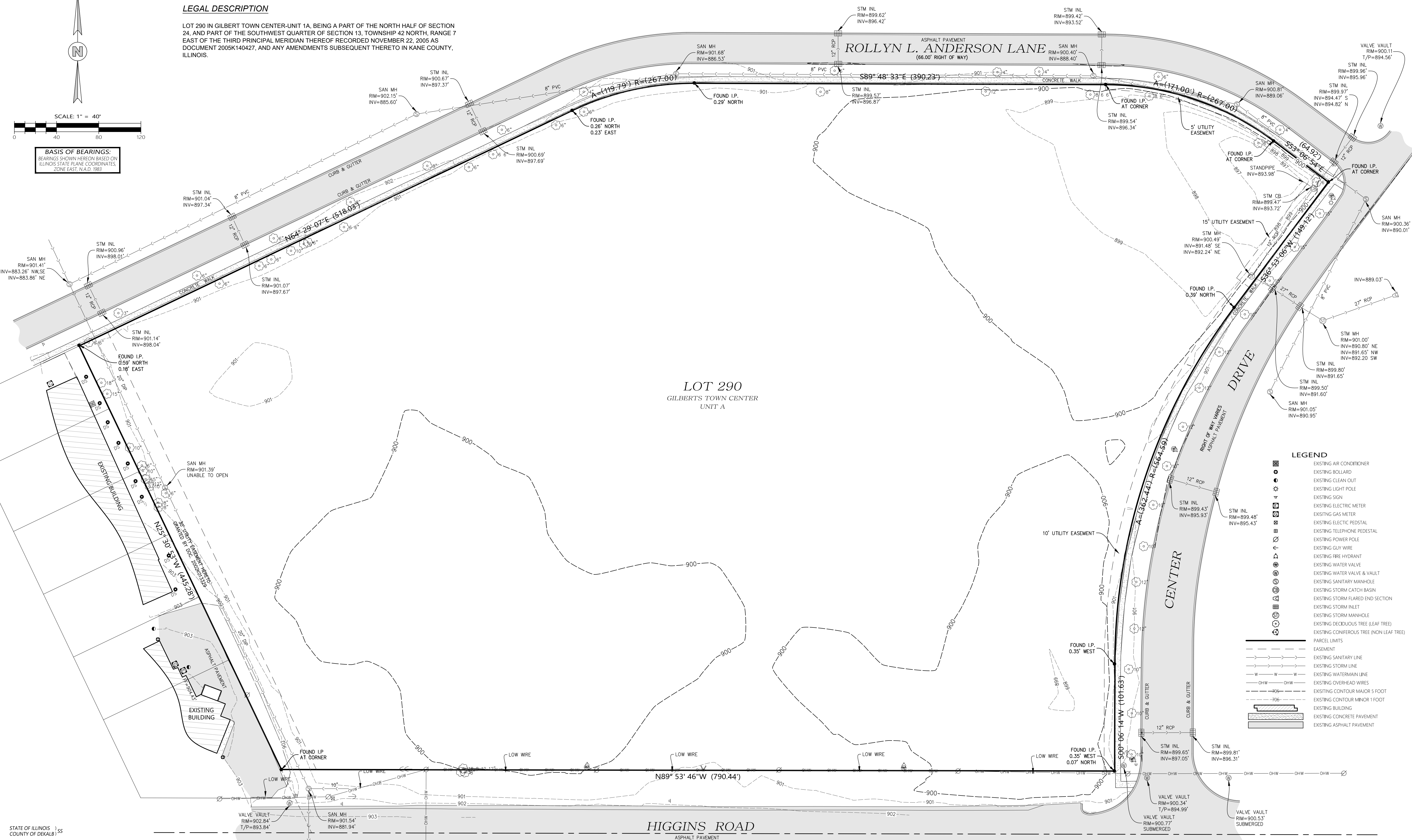
BOUNDARY AND TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

LOT 290 IN GILBERT TOWN CENTER-UNIT 1A, BEING A PART OF THE NORTH HALF OF SECTION 24, AND PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN THEREOF RECORDED NOVEMBER 22, 2005 AS DOCUMENT 2005K140427, AND ANY AMENDMENTS SUBSEQUENT THERETO IN KANE COUNTY, ILLINOIS.



BASIS OF BEARINGS:
BEARINGS SHOWN HEREON BASED ON ILLINOIS STATE PLANE COORDINATES, ZONE EAST, NAD 83.



LOT 290
GILBERT TOWN CENTER
UNIT A

- LEGEND**
- EXISTING AIR CONDITIONER
 - EXISTING BOLLARD
 - EXISTING CLEAN OUT
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING ELECTRIC METER
 - EXISTING GAS METER
 - EXISTING ELECTRIC PEDestal
 - EXISTING TELEPHONE PEDestal
 - EXISTING POWER POLE
 - EXISTING GUY WIRE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE & VAULT
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM CATCH BASIN
 - EXISTING STORM FLARED END SECTION
 - EXISTING STORM INLET
 - EXISTING STORM MANHOLE
 - EXISTING DECIDUOUS TREE (LEAF TREE)
 - EXISTING CONIFEROUS TREE (NON LEAF TREE)
 - PARCEL LIMITS
 - EASEMENT
 - EXISTING SANITARY LINE
 - EXISTING STORM LINE
 - EXISTING WATERMAIN LINE
 - EXISTING OVERHEAD WIRE
 - EXISTING CONTOUR MAJOR 5 FOOT
 - EXISTING CONTOUR MINOR 1 FOOT
 - EXISTING BUILDING
 - EXISTING CONCRETE PAVEMENT
 - EXISTING ASPHALT PAVEMENT

PROJECT NUMBER	210222	DATE	10/30/2021
CHECKED BY	RJD	DATE	10/30/2021
SCALE	1" = 40'	DATE	10/30/2021
DRAWN BY	RJD	DATE	10/30/2021
PROJECT ADDRESS	LOT 290 GILBERTS TOWN CENTER GILBERTS, IL		

SURVEYOR'S NOTES:

- 1) DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- 2) BEFORE STARTING ANY CONSTRUCTION OF PARTS THEREOF, FIELD VERIFICATION SHOULD BE ESTABLISHED.
- 3) REFER TO YOUR REED TITLE POLICY AND LOCAL ORDINANCES FOR RESTRICTIONS, INCLUDING LINES AND EASEMENTS.
- 4) PARCEL DIMENSIONS AND/OR BEARINGS WITHIN FENCIBLE FOUND OR SET CROSS TO CH FOR EACH FOUND OR SET BEARING TO BE DOCUMENTED DIMENSIONS AND/OR BEARINGS.

CLIENT:
ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET - SUITE 17, LEMONT, IL 60439
PHONE: 1 (847) 260-4758

REGIONAL LAND SERVICES
270 VIDA COURT
SYCAMORE, ILLINOIS 60178
PHONE: (618) 559-2260

PROJECT NUMBER: 210222
DATE: 10/30/2021
SHEET: 1 OF 1
DRAWING NUMBER:
PLAT

STATE OF ILLINOIS)
COUNTY OF DEKALB)

GIVEN UNDER MY HAND AND SEAL THIS 30TH DAY OF OCTOBER, A.D. 2021, AT SYCAMORE, ILLINOIS.

Rudy P. Dixon
RUDY P. DIXON
ILLINOIS PROFESSIONAL LAND SURVEYOR
LICENSE NO. 035-003832
SYCAMORE ILLINOIS
LICENSE EXPIRES: NOVEMBER 30, 2022



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY.

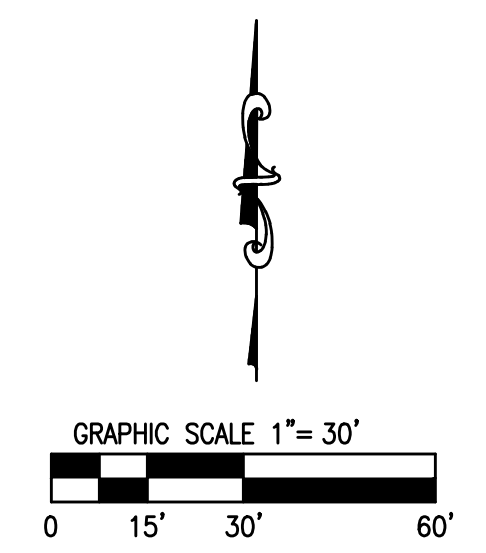
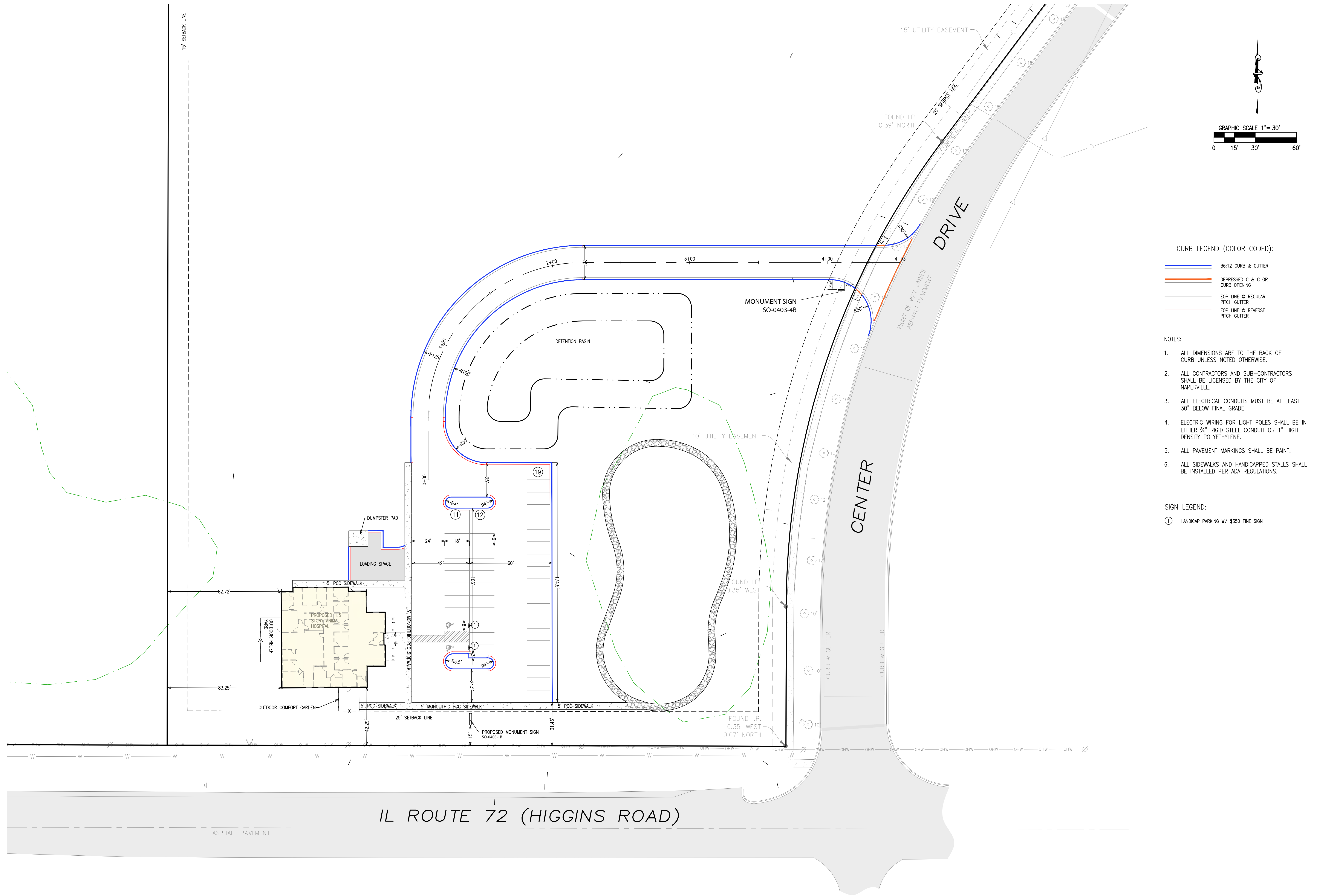
BENCHMARKS:

BENCHMARK #401
TAG BOLT ON FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF ROLLYN L. ANDERSON LANE AND CENTER ROAD.
ELEVATION = 902.13' NAVD88

BENCHMARK #402
TAG BOLT ON THE SECOND FIRE HYDRANT SOUTHERLY OF THE CENTERLINE OF ROLLYN L. ANDERSON LANE ON THE WEST SIDE OF CENTER ROAD.
ELEVATION = 901.59' NAVD88

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

811 Know what's below. **JULIE**
Call before you dig. (OUTSIDE CHICAGO AREA)
CALL 48 HOURS (2 WORKING DAYS) BEFORE YOU DIG
811 or 1-800-892-0123



- CURB LEGEND (COLOR CODED):**
- B&12 CURB & GUTTER
 - DEPRESSED C & G OR CURB OPENING
 - EOP LINE ◉ REGULAR PITCH GUTTER
 - EOP LINE ◉ REVERSE PITCH GUTTER

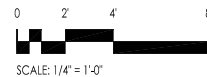
- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
 2. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE LICENSED BY THE CITY OF NAPERVILLE.
 3. ALL ELECTRICAL CONDUITS MUST BE AT LEAST 30" BELOW FINAL GRADE.
 4. ELECTRIC WIRING FOR LIGHT POLES SHALL BE IN EITHER 3/4" RIGID STEEL CONDUIT OR 1" HIGH DENSITY POLYETHYLENE.
 5. ALL PAVEMENT MARKINGS SHALL BE PAINT.
 6. ALL SIDEWALKS AND HANDICAPPED STALLS SHALL BE INSTALLED PER ADA REGULATIONS.

- SIGN LEGEND:**
- ① HANDICAP PARKING W/ \$350 FINE SIGN

REMARKS	
DATE	07/05/2022
NO.	1.
REVISED PER ARCHITECT	
<p>ADVANTAGE CONSULTING ENGINEERS</p> <p>80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439 630-520-2467 WWW.ADVANTAGEILL.COM</p>	
<p>GEOMETRIC PLAN</p> <p>RED BARN ANIMAL HOSPITAL GILBERT, ILLINOIS</p>	
<p>RWE DESIGN BUILD</p> <p>16W361 S. FRONTAGE ROAD, SUITE 106 Burr Ridge, Illinois 60527</p>	
<p>MARCH 25, 2022 JOB: 21-052</p>	
<p>SHEET: L1</p>	
<p>4 OF 12</p>	



1 EAST ELEVATION
A-4.0 Scale: 1/8" = 1'



- ONE (1) SET OF FACE LIT - LED ILLUMINATED CHANNEL LETTERS WITH MOUNTED FLUSH TO BUILDING FASCIA

5" RETURNS = PAINTED SATIN MAP BLACK
 1" TRIMCAP = GEMINI STANDARD WHITE
 FACES = 7328 WHITE ACRYLIC
 ILLUMINATION = 7100K BRIGHT WHITE LED



Enlarged view
Scale: 1/2" = 1'

SCALE: Mixed



7933 W Hwy 6, Westville, IN 46391

PROJECT: Red Barn Animal Hospital
 20 N Center
 Gilberts, IL 60140

REP: Shaun O'Brien 219-406-0218

DATE: 11-15-2022

DRAWING: SO-0403-2

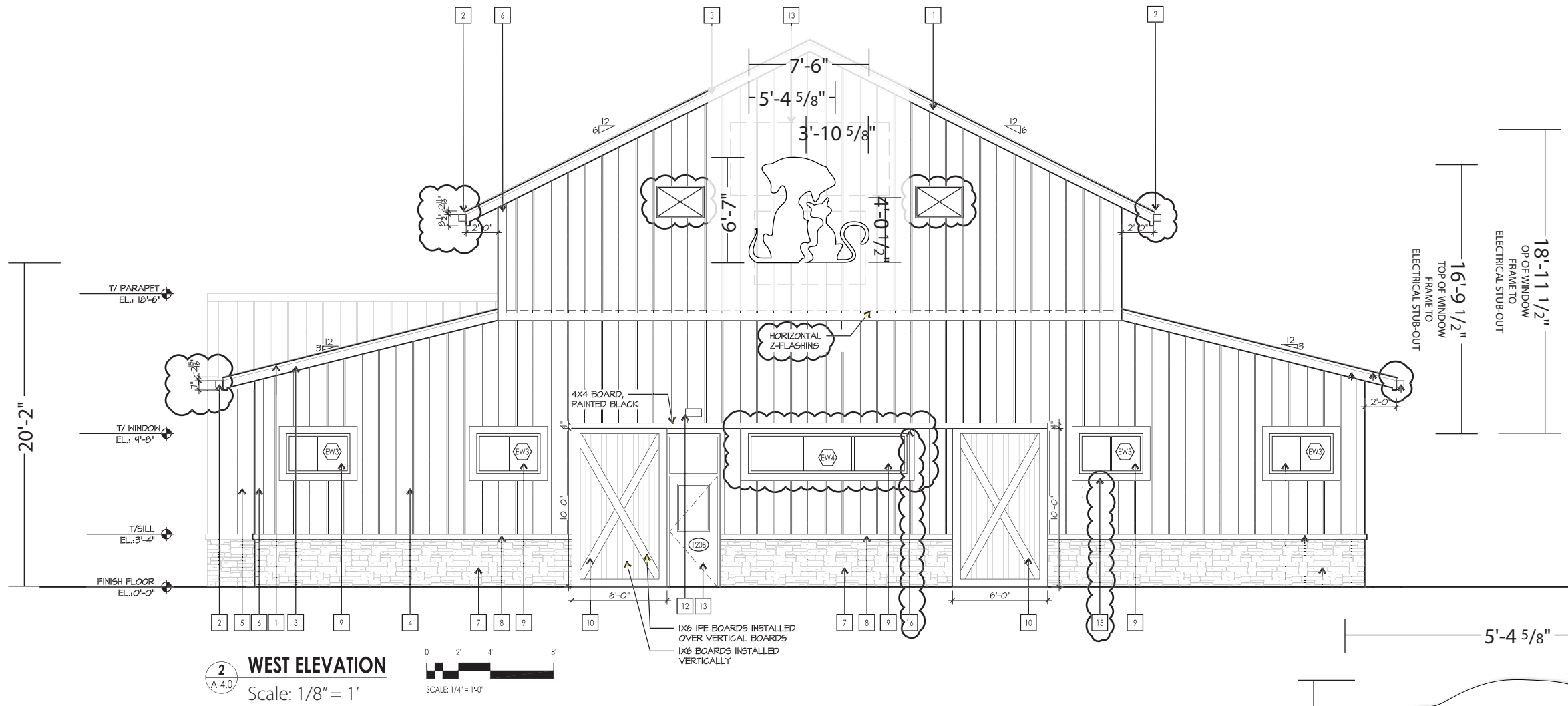
PROJECT #: 220936

REVISIONS:
1.

CLIENT APPROVAL: _____

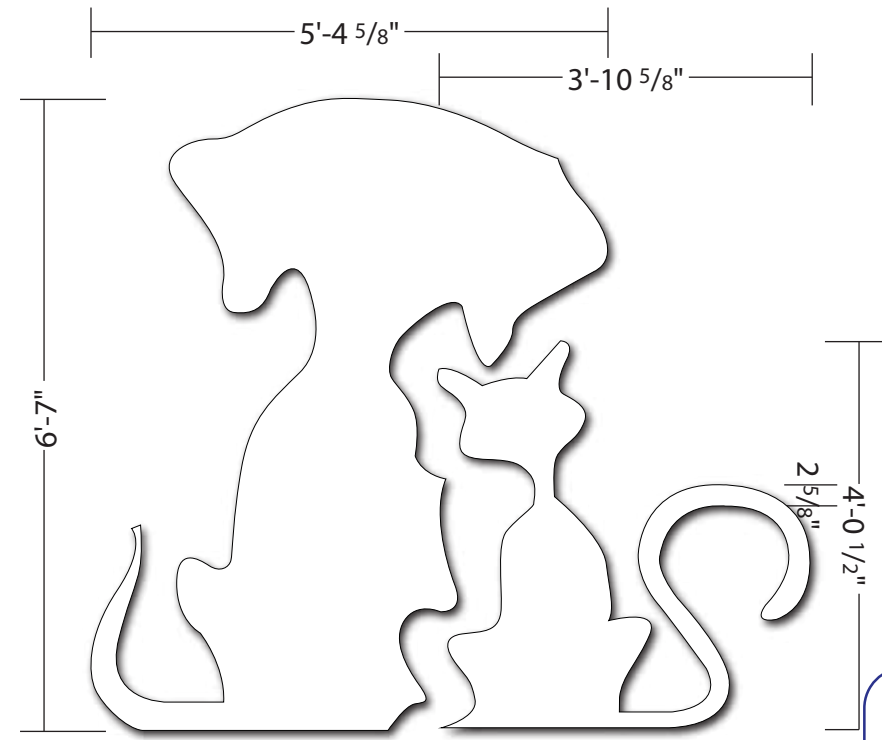
By signing this print, I understand that I am accepting all aspects of this drawing. This includes artwork, specifications, dimensions, spelling and all other representations herein. I also understand that color representations on this print are approximate, and may not match actual colors produced.





2 WEST ELEVATION
 A-4.0 Scale: 1/8" = 1'

- **ONE (1) SET OF FACE LIT - LED ILLUMINATED CHANNEL LOGOS (ONE DOG, ONE CAT) MOUNTED FLUSH TO BUILDING FASCIA**
- 5" RETURNS = PAINTED SATIN MAP BLACK**
- 1" TRIMCAP = GEMINI STANDARD WHITE**
- FACES = 7328 WHITE ACRYLIC**
- ILLUMINATION = 7100K BRIGHT WHITE LED**



Enlarged view
 Scale: 1/2" = 1'

SCALE: Mixed



7933 W Hwy 6, Westville, IN 46391

PROJECT: Red Barn Animal Hospital
 E Higgins Rd
 Gilberts, IL 60140

REP: Shaun O'Brien 219-406-0218

DATE: 3-3-2023

DRAWING: SO-0403-6

PROJECT #: 220936

REVISIONS:
 1.

CLIENT APPROVAL: _____

By signing this print, I understand that I am accepting all aspects of this drawing. This includes artwork, specifications, dimensions, spelling and all other representations herein. I also understand that color representations on this print are approximate, and may not match actual colors produced.





Village of Gilberts

Village Hall
87 Galligan Road, Gilberts, Illinois 60136
Ph. 847-428-2861 Fax: 847-428-2955
www.villageofgilberts.com

To: Plan Commission
From: Riley Lynch, Management Analyst
Cc: Brian Bourdeau, Village Administrator
Date: April 12, 2023 Plan Commission Meeting
Re: Item 6 – Consideration and Recommendation to the Village Board of Trustees Regarding a Variance Request from Parking Requirements Related to an Expansion of Pub 72.

Summary:

Pub 72 INC is seeking a variance from parking requirements triggered by a building expansion.

Background:

Pub 72 INC (“*Applicant*”) operates the restaurant located at 38 East Higgins Road (PIN: 02-24-154-010). The property is located within a C-1 Commercial zoning district and is joined by two other C-1 zoned parcels to the west that make up more of Pub 72’s parking lot and a volleyball court. To the north are residences part of the Old Town district, to the south across Higgins Road are businesses in the I-1 Industrial district, and to the east across Galligan road are more C-1 commercial properties home to Cruisin’ and Red Barn Animal Hospital.



Figure 1 - GIS Snapshot of Pub 72

The Applicant is looking to expand the restaurant’s building by 1,000sqft into the parking lot on the west side of the building. The new total net floor area of Pub 72 will be about 2,110sqft. With the new expansion, Pub 72’s parking lot will be rearranged to contain 32 parking spaces, 2 of which will be handicap spaces.

Variance Request:

Chapter 9-1(A) of the Village’s Unified Development Ordinance (UDO) details that a change in use or increase in floor area requires that additional parking be provided. Furthermore, 9-1(B) of the UDO outlines the number of parking spaces required per use and per 1,000sqft of net floor area. Overall, this requires 38 total spaces for the current restaurant use and proposed expansion. As the remainder of the Applicant’s contiguous properties are covered by the primary structure,

existing parking facilities, and volleyball court, the Applicant is requesting a variance from 9-1 of the UDO to reduce the parking requirement by 6 spaces.

Note that the Applicant has indicated they have purchased the property located across Galligan road at 17 Galligan Road and proposed to use that property to make up the remaining balance of required parking spaces. However, it is separated by a public road, is a separate zoning lot, and has its own uses and parking requirements. According to these facts and UDO 9-1(B)(1)(a), parking spaces on that property cannot be used to supplement the required spaces for Pub 72.

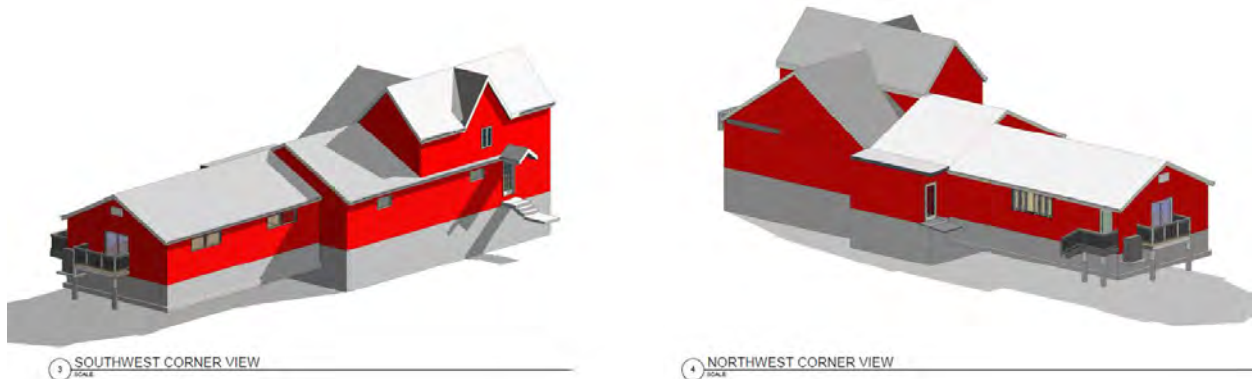


Figure 2 - Pub 72 Expansion Rendering

Points for Discussion:

In considering the Applicant’s request for a variance from parking requirements, the Plan Commission should review the standards for variations as outlined in Section 11-10(F) of the UDO:

Standards for Variations.

1. *General Standard. No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty.*
2. *Supplemental Standards. In considering proposed variations to this code, the Board of Appeals will consider whether the proposed variation will:*
 - a. *Impair an adequate supply of light and air to adjacent property.*
 - b. *Unreasonable increase the congestion in public streets.*
 - c. *Increase the danger of fire or endanger the public safety.*
 - d. *Unreasonably diminish or impair established property values within the surrounding area.*
 - e. *In any other respects impair the public health, safety, or welfare of the inhabitants of the village.*
3. *Findings of Fact. Upon review of the application and information presented at the public hearing, the Board of Appeals shall consider and adopt findings of fact sustaining each of the following criteria which are consistent with the rules provided to govern determinations of the Board of Appeals as referenced by state statute.*

- a. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district.*
- b. *The extraordinary or exceptional conditions of the property requiring the request for the variance were not caused by the applicant.*
- c. *The proposed variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship.*
- d. *The denial of the proposed variance will deprive the applicant the use permitted to be made by the owners of property in the immediate area.*
- e. *The proposed variance will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested.*
- f. *There is no other means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.*

See Exhibit 2 for the Applicant's response to these standards

Attachments:

- Exhibit 1 – Notice of Public Hearing
- Exhibit 2 – Application for a Variance
- Exhibit 3 – 38 E. Higgins Road Plat of Survey
- Exhibit 4 – Expansion Design Plans
- Exhibit 5 – Parking Lot Design & Fire Apparatus Turning Exhibit

VILLAGE OF GILBERTS
PUBLIC NOTICE REGARDING A HEARING ON A VARIANCE APPLICATION

PUBLIC NOTICE IS HEREBY GIVEN that the Gilberts Plan Commission will conduct a public hearing on Wednesday, April 12, 2023, at 7:00 p.m. at the Gilberts Village Hall, 87 Galligan Road, Gilberts, Illinois, to consider an application from Pub 72 Inc. (“Applicant”) concerning the property located at 38 East Higgins Road, Gilberts, Illinois, and identified by PINS 02-24-154-010, 02-24-154-012, and 02-24-154-004 (“Property”). The Applicant requests approval of a variance from Section 9-1 of the Gilberts Unified Development Ordinance (UDO) to reduce the required amount of off-street parking spaces for the Property, and for such other and further zoning relief as may be required.

All persons interested in the variance application should attend and will be given an opportunity to provide written and oral testimony. Members of the public can also submit written comments via email at info@villageofgilberts.com. Additional information about the variance application and the public hearing are available from the Village of Gilberts at (847) 428-2861. The public hearing may be continued from time to time without further public notice.

Gilberts Plan Commission
Village of Gilberts



The Village of Gilberts

APPLICATION FOR DEVELOPMENT AND ZONING APPROVALS

Last Updated: November 2021

Application for Zoning and Development Approvals.....	2
For Reference	2
Definitions.....	2
Development Review Process.....	3
Zoning and Development Application Fees	4
Application for Development Approval	5
Exhibit 1: Site Plan Review	10
Exhibit 2: Special Use Permit	15
Exhibit 3: Variance Requests.....	17
Exhibit 4: Rezoning and Text Amendments.....	20
Exhibit 5: Zoning Appeals.....	22
Exhibit 6: Zoning Interpretations	23
Exhibit 7: Planned Unit Development.....	24
Exhibit 8: Temporary Uses	28
Supplemental Graphics	30

Application for Zoning and Development Approvals

This Application is used to request development approval from the Village when consideration by the Gilberts Plan Commission and Zoning Board of Appeals, or Village Board is required. This application packet is available on the Village's website at <https://www.villageofgilberts.com>. Additional questions concerning this packet and requirements should be directed to Village Hall by email at development@villageofgilberts.com, or by phone at (847) 428-2861.

For Reference

- The Village's official Zoning Map can be found on the Village's website [here](#).
- Unless stated otherwise, items referring to the Village Code of Ordinances or Village Code refer to the most current code for the Village, available online [here](#).
- UDO - Unified Development Ordinance. Throughout this packet, Unified Development Ordinance may be abbreviated to "UDO." The UDO is found in Title 10 as a portion of the Village Code, although available as an additional document so that it may remain easily accessible. The UDO outlines limitations, regulations, requirements and other aspects pertaining to development, and is available online [here](#).
- When referring to the Village Code or UDO, chapters, titles, and sections may be abbreviated. For example, Title 1 Chapter 2 Section 3 would be abbreviated 1-2-3.

Definitions

As defined in the Village of Gilberts UDO. A full list of definitions can be found in the Village of Gilberts UDO, 10-13-13. Any definitions found elsewhere will have included reference or example.

- **Plan Commission:** The Planning Commission of the Village of Gilberts, Illinois. This appointed board of residents consisting of six members and one chairperson holds office for one-year terms and provides recommendation to the Village Board of Trustees on matters of planning, zoning, and development. (10-11-3 UDO)
- **Permitted Use:** Any use allowed in a zoning district and subject to the restrictions applicable to that zoning district.
- **Special Use Permit:** In addition to uses classified and permitted in each zoning districts, there are additional uses that may be desirable to allow, however due to unique requirements and impacts, additional consideration is required through this permitting process. (10-11-11 UDO)
- **Variance:** A request to deviate from certain zoning requirements in the case that practical difficulties or particular hardships require relief. (10-11-10 UDO)
- **Zoning District:** A specifically delineated land area within the Village of Gilberts, Illinois, as specified on the Zoning Map—included attached to the end of this packet—within which regulations and requirements govern the use, placement, spacing, and size of land and buildings.

Development Review Process

1. Pre-Application

Review the Village's Code and Unified Development Ordinance as it relates to your request. The Code and UDO is available online [here](#). Depending on the request, you may wish to have a preliminary or concept meeting with staff. These meetings are entirely optional, but encouraged to gain a better understanding of the request.

2. The Application

Complete the general Application for Development Approval and the exhibits relevant to your request. Submittal of the Application should include all materials and applicable fees required by this Application and the Village Code. This includes the required fees, escrow and agreement to reimburse the Village for its costs pursuant to Section 2-5-3 of the Village Code. Applications can be submitted to Village Hall at 87 Galligan Road, or electronically. Electronic submission can be sent through email to development@villageofgilberts.com if the submission is less than 10 MB, through a flash drive, or through an online document transfer site with a link that DOES NOT expire. ***Submittals will not be accepted or processed until all of the submittal requirements are met.***

3. Staff Review

Once a complete Application is submitted, the Village will forward it to the applicable Village departments and consultants for review and comment. The Village will send its review comments to the Primary Contact Person as identified in this application. Comments may necessitate revisions to plans prior to scheduling the project for a hearing or meeting with the Plan Commission, Zoning Board of Appeals, or Village Board.

4. Notice Requirements and the Public Hearing

Depending on the type of approval sought, the applicant may have to notify the public before meeting with the Plan Commission. Public notice for a hearing must occur no more than 30 days and no less than 15 days in advance of the hearing date. Additionally, an applicant requesting relief that requires a public hearing must give notice of the hearing, no less than 10 days in advance of the hearing date, to owners of property within 250 feet of the subject property pursuant to [Section 10-11-5C](#) of the Village Code. Then a public hearing will be held concerning the request. This is where one can justify the request and where members of the public can speak to voice their support or concerns.

5. Plan Commission Meeting

When the public hearing is closed, the Plan Commission will discuss the request. After sufficient deliberation, the Plan Commission will give a recommendation to the Village board about what to do with the request.

6. Village Board Meeting

Following a public hearing and recommendation by the Plan Commission and/or the Zoning Board of Appeals, or as otherwise necessary, the project will be scheduled for Village Board consideration. Projects will not be included on a Village Board agenda until Village staff has determined that all plans are in technical compliance with all Village codes, rules, and policies. The Village Board will take final action on requests after sufficient deliberation.

Zoning and Development Application Fees

Below is a summary fee schedule of common fees required throughout the development process. Exact fees related to development may vary based on use or on zoning. For any questions on the fee schedule as related to zoning and development, please contact Village Hall at (847) 428-2861.

Zoning Fee Schedule - Village Code 2-4-13

<input type="checkbox"/> Site plan review (Variable Escrow)	\$5,000.00
<input type="checkbox"/> Appeals to zoning board	\$300.00
<input type="checkbox"/> Petitions to plan commission	\$50.00
<input type="checkbox"/> Zoning map amendments	\$100.00
<ul style="list-style-type: none"> ▪ Plus \$20.00 per acre. Number of Acres: _____ 	
<input type="checkbox"/> Planned unit developments	\$100.00
<ul style="list-style-type: none"> ▪ Plus \$20.00 per acre. Number of Acres: _____ 	
<input type="checkbox"/> Special use permits:	
<ul style="list-style-type: none"> <input type="checkbox"/> Home occupations 	\$25.00
<ul style="list-style-type: none"> <input type="checkbox"/> All others 	\$500.00
<input type="checkbox"/> Variations	\$500.00
<input type="checkbox"/> Continued, postponed and multiple meetings, per meeting	\$53.00

Petitioners seeking annexation agreements must contact the Village to determine applicable fees.

In addition to the filing fee set out in this section, each petitioner shall reimburse the village for the fees and costs incurred thereby for publication, consultant, legal, engineer, planning and architect fees incurred in relation to such petition or review.

The site plan review fee, specified above, shall be considered a deposit to establish an escrow toward the hourly fees incurred by the village in such review as otherwise stated above.

Application for Development Approval

Please complete this section before any other part of this packet.

Development name: Pub 72

Address of subject property: 38 East Higgins Road Gilberts IL.

Parcel identification number (P.I.N.): 02-24-154-010

I. Applicant: Pub 72 INC.

Address: 38 East Higgins Road

City: Gilberts State: IL Zip code: 60136

Phone: 847-426-6655 Email: pub72barandgrill@gmail.com

II. Property Owner(s): Home State Band of Crystal Lake Trust: 3523 - Brett R Coleman

Address: 8105 Ackman Road

City: Crystal Lake State: IL Zip code: 60014

Phone: _____ Email: _____

III. Primary contact: Rick Csekme

Check one that best applies:

Owner Attorney Engineer Broker Other: GC

Phone: 312-656-6130 Email: FTCNPRO@gmail.com

IV. Other staff

Name: Tom Trier

Owner Attorney Engineer Broker Other: _____

Phone: 1-773-742-7975 Email: evergreenpubandgrill@gmail.com

Name: _____

Check one that best applies:

Owner Attorney Engineer Broker Other: _____

Phone: _____ Email: _____

V. PROPOSED DEVELOPMENT

Check all that apply and provide written responses to corresponding exhibits on a separate sheet. If unsure contact Village Hall at 847-428-2861 or development@villageofgilberts.com.

Site Plan Review
(Complete Exhibit 1)

Zoning Appeal
(Complete Exhibit 5)

Special Use (New or Amendment)
(Complete Exhibit 2)

Zoning Interpretation
(Complete Exhibit 6)

Variance Request
(Complete Exhibit 3)

Planned Unit Development
(Complete Exhibit 7)

Rezoning or Text Amendment
(Complete Exhibit 4)

Temporary Use
(Complete Exhibit 8)

Subdivision/Annexation
(Please contact Staff)

Other (Please Specify _____)

Acreage of property: _____

Description of proposal/use (use the following page or a separate sheet if necessary):

Parking Space leniency

VI. APPLICANT'S SIGNATURE

I, Thomas Trier [Applicant's Printed Name and Title], being duly sworn, declare that: i) I am duly authorized to make this Application for Development Approval on behalf of the Applicant; ii) I have read and understand this Application for Development Approval, and the Village of Gilberts UDO, available online [here](#).

I have read, understand, and will comply by the provisions of the Village Code, found [here](#) online regarding reimbursement of the Village's costs; and iv) the above information, to the best of my knowledge, is true and accurate.

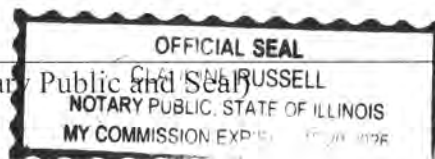
[Signature]
(Signature of Applicant or authorized agent)

3/14, 2023
(Date)

SUBSCRIBED AND SWORN TO before me this 24th day of March, 2023

Clara Russell

(Notary Public and Seal)



Use this page to detail or repeat any information from page three or four, concerning any other contacts and descriptions relevant to development

Currently we are showing 33 parking spaces. Sq footage is asking for 38.

We can remove a tree + smoker to gain 2 more.

Owner's of pub 72 also purchased the building across the street and would like to offer additional parking as needed on that lot.

The revised final plan shows 32 parking spaces. The applicant is requesting a variance of 6 parking spaces.

VII. OWNER'S AUTHORIZATION LETTER

I/we hereby certify that I/we am/are the owner(s) of the above-described Subject Property. I/we am/are respectfully requesting processing and approval of the request(s) referenced in this Application. I/we hereby authorize the Applicant listed on this Application to act on my/our behalf during the processing and presentation of this request(s).

Ann Coleman
(Signature of 1st Owner or authorized agent)

3/23/23
(Date)

Thomas Trier
(Signature of 2nd Owner or authorized agent)

3 23 23
(Date)

Ann Coleman
1st Owner's Printed Name and Title

THOMAS TRIER
2nd Owner Printed Name and Title

****Please include additional pages if the Subject Property has more than two owners****

SUBSCRIBED AND SWORN TO before me this 23rd day of March, 2023

Claudia Russell
(Notary Seal and Signature)



VIII. DISCLOSURE OF BENEFICIARIES

Name: Thomas Trier

Address: 420 Tenby Way Algonquin IL, 60102

Nature of Benefit sought: Variance

Nature of Applicant: (please check one)

Natural Person

Trust/Trustee

Corporation

Partnership

Land Trust/Trustee

Joint Venture

If applicant is not an entity described above, briefly state the nature of the applicant(s):

S Corp Thomas Trier Owner

In your answer above, if you checked box b, c, d, e or f. identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of C3Se of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

	<u>Name</u>	<u>Address</u>	<u>Interest</u>
a)	<u>Thomas Trier</u>	<u>420 Tenby Way Algonquin IL.</u>	<u>Owner.</u>
b)			
c)			
d)			

Name, address and capacity of person making this disclosure on behalf of the applicant:

Important Note: In the event your answers above identify entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION

I, Claudine Russell being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and sworn to before me this 15th day of February, 2023

Claudia Russell
(Notary Seal and Signature)



Exhibit 1: Site Plan Review

Providing a site plan for review is a requirement of all requests that involve changes to one or more parcels of land. Site plan review is where you can show the Village what your plans are for specific plots of land. The requirements may differ depending on the specific case and the scope of the project. For minor site plans, the zoning administrator may waive certain submittal requirements. If unsure about what you need to provide, contact the Village at 847-428-2861.

A. Checklist of Required Submittals

- A site plan of the proposed project and the land it takes place on. This could include the most up-to-date plat of survey of the subject parcel(s) of land. If this is not available or applicable, please provide a detailed drawing or depiction of the parcel(s) of land.

The site plan should include the following:

- Architect's and/or engineer's name and address.
 - A cardinal arrow that depicts the direction of North.
 - Date of site plan submittal with all dates of revision.
 - The scale of drawing and the size of the site (in square feet or acres).
 - Type, size, and location of all existing and proposed structures and signs.
 - Height of all existing and proposed structures, in feet and stories.
 - Building and yard setbacks.
 - The location of all existing and proposed easements on the site, including natural resource protection and mitigation area easements, landscape easements, access easements, utility easements, and all other easements.
 - The location of pedestrian sidewalks and walkways.
 - Existing and proposed street names.
 - Existing and proposed public street rights of way or reservations.
 - Off-street parking spaces, loading, ingress and egress, and driveway locations of adjoining properties.
 - A graphic outline of any development staging or phasing which is planned.
 - If applicable, provide copies of any letters of review or permits granted by applicable federal, state, or county regulatory agencies having jurisdiction over highway access.
 - If applicable, proposed and existing sanitary sewers, storm sewers, and water mains.
- A digital copy of the above-described site plan delivered with the rest of this application packet either by physical flash drive or email to development@villageofgilberts.com.
- A written project summary including operational information, building schedule, and estimate of project value and including all site improvement costs.
- Additional information as required by the Village, which might include the preparation and submittal of detailed traffic impact analysis studies performed by a transportation engineer or fiscal impact analyses studies.

Exhibit 3: Variance Requests

A. Checklist of Required Submittals

- A site plan in accordance with Exhibit 1 of this development packet.
- Additional information may be required by the Village.

B. Variance Request Details

Please provide a written narrative that responds to the following standards below. Use the next page or another sheet of paper for your responses.

1. Indicate the section(s) of the code from which a variance is requested.

9.1 of the zoning ordinance

2. Statement regarding the request, giving distances and dimensions where appropriate.

Seeking a variance to allow parking space shortage.

3. Give a description of conditions and/or hardship which justify the need for a variance.

Currently we can show 33 spaces and we are required 38. Asking for 5 space forgiveness. Revised Plan shows 32 parking spaces. The Applicant needs a variance from 6 parking spaces.

*Also offering additional parking across the street from new building purchase.

4. Date(s) of any previous application for a variance and the result of them.

5. Additional information as required by the Village.

C. Responses to Standards

Standards for Variations (See 10-11-10F of UDO)

Please provide a written narrative that responds to the following standards below. Use the next page or another sheet of paper for your responses.

1. *General Standard.* No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty.

2. *Supplemental Standards.* In considering proposed variations to this code, the Board of Appeals will consider whether the proposed variation will:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in public streets.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the surrounding area.
 - e. In any other respects impair the public health, safety, or welfare of the inhabitants of the village.

3. *Findings of Fact.* Upon review of the application and information presented at the public hearing, the Board of Appeals shall consider and adopt findings of fact sustaining each of the following criteria which are consistent with the rules provided to govern determinations of the Board of Appeals as referenced by state statute.
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district.
 - b. The extraordinary or exceptional conditions of the property requiring the request for the variance were not caused by the applicant.
 - c. The proposed variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship.
 - d. The denial of the proposed variance will deprive the applicant the use permitted to be made by the owners of property in the immediate area.
 - e. The proposed variance will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested.
 - f. There is no other means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.

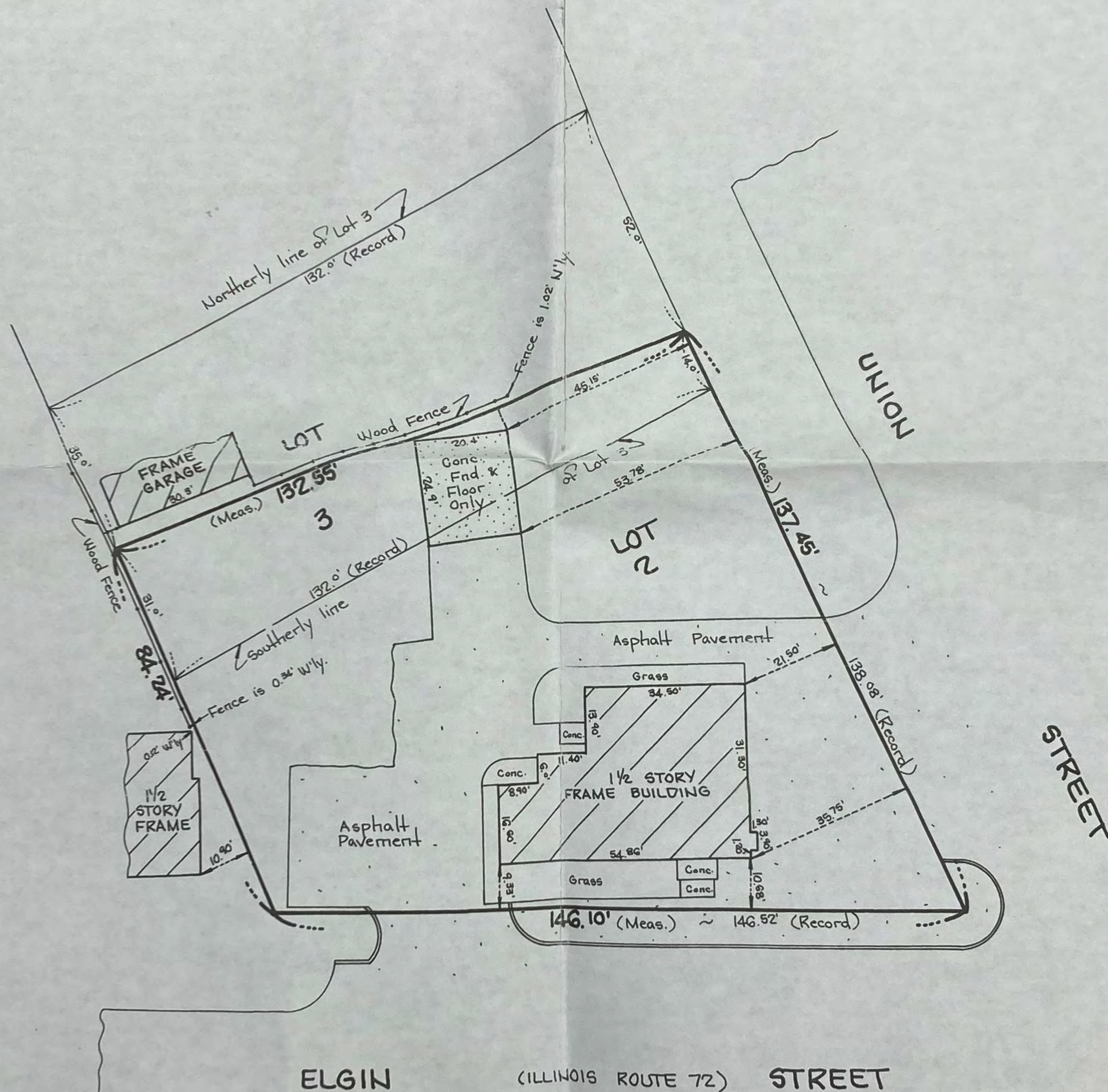


PLAT OF SURVEY

JOHN D. REBIK & Associates
Land and Construction Surveys
35 W 388 Miller Road
Dundee, Illinois 60118 (312) 428-3456



Lot 2 (except that part conveyed to People of the State of Illinois by Document 446977 recorded on January 3, 1950 in Book 1111, page 1) and that part of Lot 3 described as follows: Beginning at a point on the Easterly line of said Lot 3, 52.0 feet southerly of the Northeastern corner thereof; thence Westerly to a point in the Westerly line of said Lot, 35.0 feet southerly of the Northwestern corner thereof; thence southerly along said Westerly line, 31.0 feet to the southwestern corner thereof; thence Easterly, along the southerly line of said Lot, 132.0 feet to the Southeastern corner thereof; thence Northerly along the Easterly line of said Lot, 14.0 feet to the point of beginning, all in Block 2 of RUTLANDVILLE, in the Village of Gilberts, being in the West 1/2 of the North-west 1/4 of Section 24, Township 42 North, Range 7 East of the Third Principal Meridian, Kane County, Illinois.



Scale: 1 inch equals 20 feet.
Distances are marked in feet and decimal parts thereof.

Ordered by: **ARIANO, ANDERSON, BAZOS**
Checked by: T.L.M. Surveyed by: J.D.R.

Building lines, if any, shown hereon are building lines shown on the recorded subdivision plat. Consult local authorities for building lines established by local ordinances.

Please check Legal Description with Deed; also compare all points before building and report ANY DISCREPANCY IMMEDIATELY.

Order No. **88-2052**

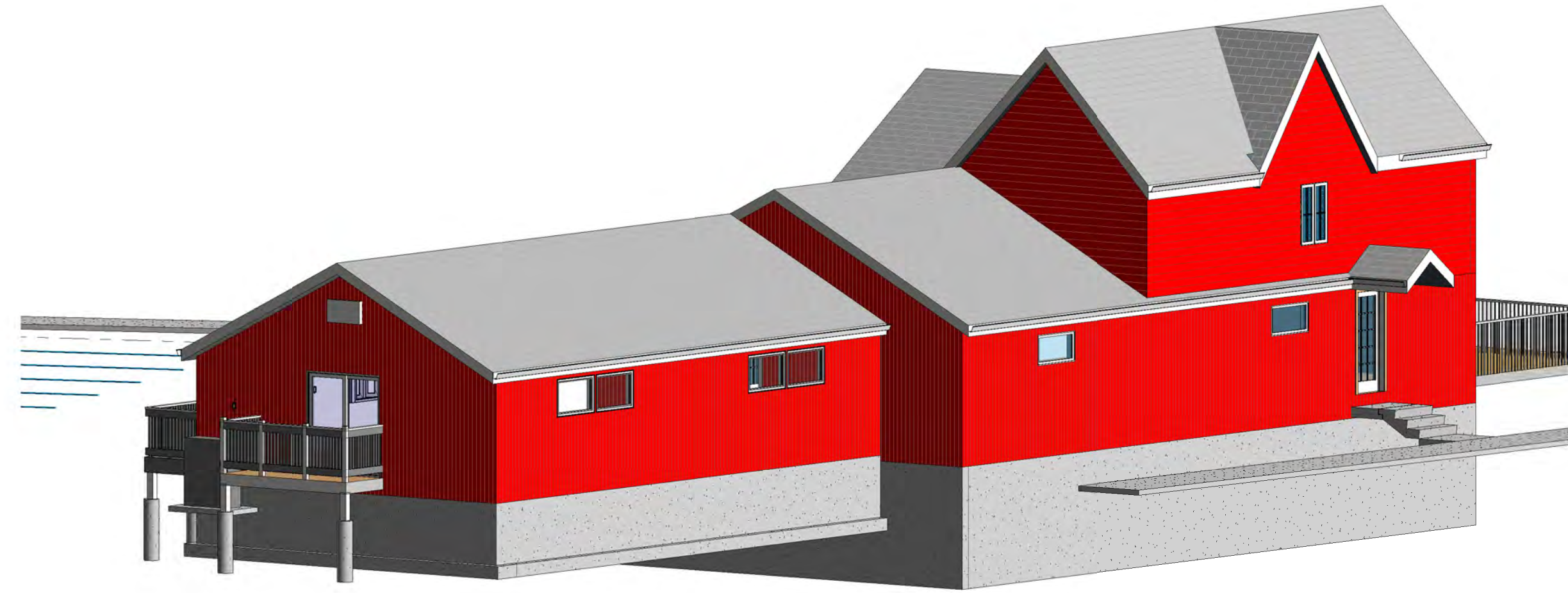


STATE OF ILLINOIS } S.S.
COUNTY OF KANE }

JOHN D. REBIK & Associates, do hereby certify that a survey has been made under its direction by a Registered Illinois Land Surveyor, of the property described hereon and that the plat hereon drawn is a correct representation of said survey.
Dundee, Illinois, dated this 4th day of August, A.D. 1988

John D. Rebig
John D. Rebig
Illinois Registered Land Surveyor No. 2429

PUB 72 FIRST FLOOR ADDITION

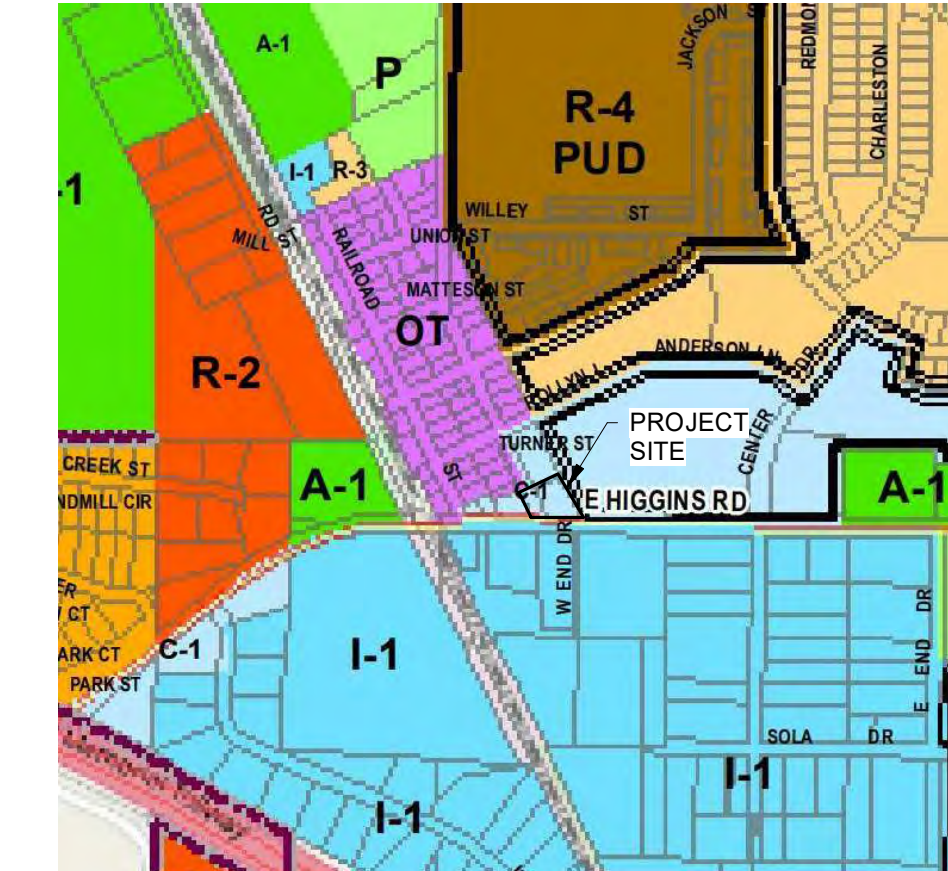


- APPLICABLE CODES**
- INTERNATIONAL BUILDING CODE/2003.
 - INTERNATIONAL MECHANICAL CODE/2003.
 - INTERNATIONAL FUEL GAS CODE/2003.
 - NATIONAL ELECTRICAL CODE 2002 NFPA 70.
 - INTERNATIONAL RESIDENTIAL CODE/2003.
 - ILLINOIS PLUMBING CODE/2014.
 - INTERNATIONAL FIRE CODE/2003.
 - INTERNATIONAL PROPERTY MAINTENANCE CODE/2003.
 - INTERNATIONAL URBAN - WILDLAND INTERFACE CODE/2003.
 - INTERNATIONAL ENERGY CONSERVATION CODE/2009.

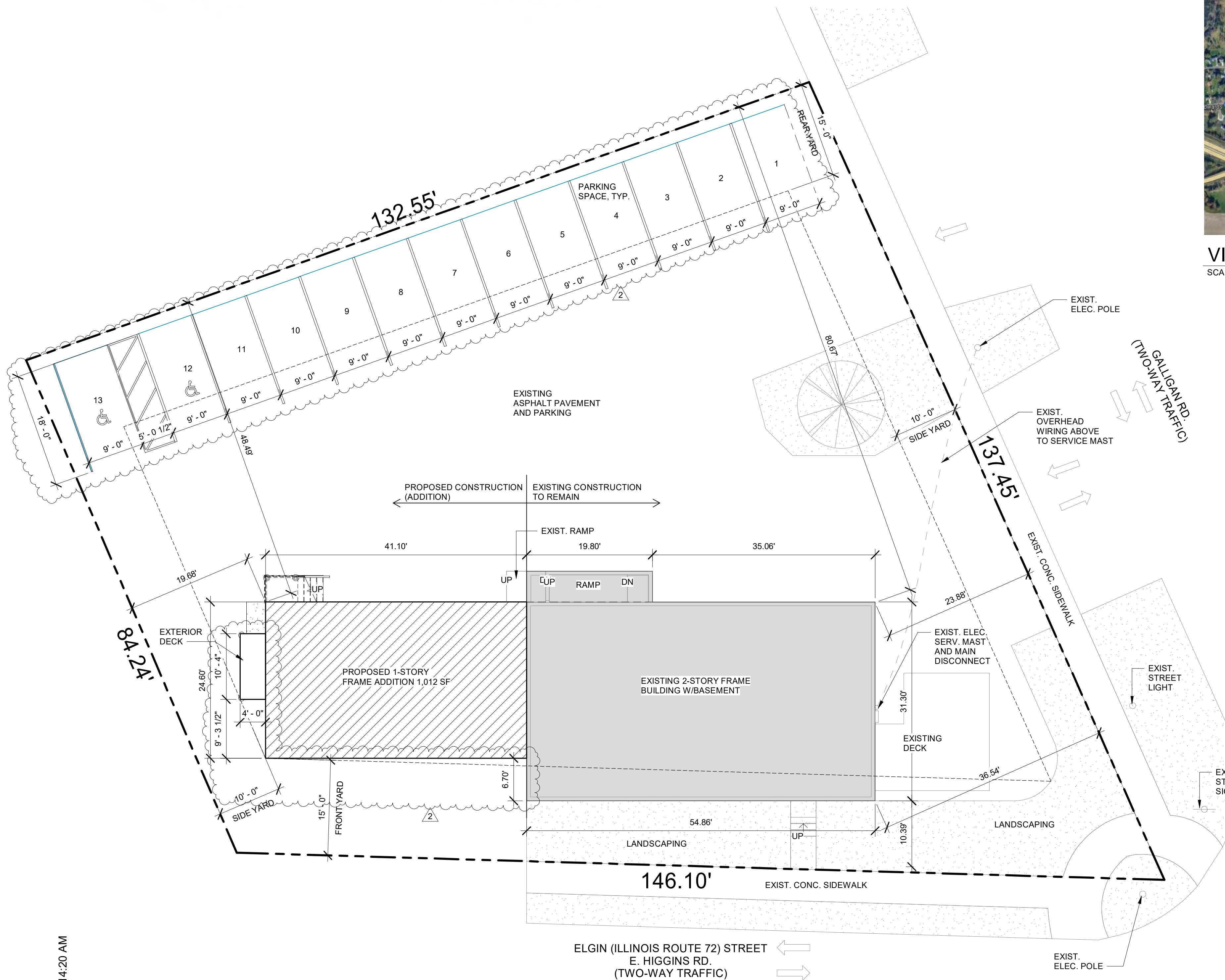
	C-1
Minimum District Area (note 1)	4 acres
Minimum Lot Area	N/A
Minimum Lot Width (feet)	100
Maximum Lot Coverage for all buildings	35% of lot area
Maximum Floor Area Ratio for all buildings	40% of lot area
Maximum Building Height (feet) (note 2)	35 (principal) 12 (accessory)
Minimum Front and Corner Side Yard Setback (feet)	15 (buildings) 10 feet (off street parking and loading)
Minimum Interior Side Yard Setback (feet) (note 3)	10 feet (buildings) 5 feet (off street parking and loading)
Minimum Rear Yard Setback (feet) (note 3)	15 feet (buildings) 5 feet (off street parking and loading)



VICINITY MAP
SCALE: 12" = 1'-0"



ZONING MAP
SCALE: 12" = 1'-0"



GILBERTS ZONING ORDINANCE AND LAND USE ORDINANCE, AND MUNICIPAL CODE OF GILBERTS, IL						
ITEM	DESCRIPTION	REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	SHEET NO.	REMARKS
UNIFIED DEVELOPMENT ORDINANCE						
1.01	ZONING DISTRICT	CHAPTER 4 (TABLE 4-6)	C-1	C-1	G.001	
1.02	MIN. LOT AREA	CHAPTER 4 (TABLE 4-6)	N/A	14,557 SF	G.001	
1.03	FLOOR TO AREA RATIO (MAX)	CHAPTER 4 (TABLE 4-6)	5,823 SF = 40%	3,789 SF = 26%	G.001	
1.04	BUILDING LOT COVERAGE	CHAPTER 4 (TABLE 4-6)	5,095 SF = 35%	2,825 SF = 19%	G.001	
1.05	FRONT SETBACK	CHAPTER 4 (TABLE 4-6)	15 FT	15 FT	G.001	
1.06	REAR SETBACK	CHAPTER 4 (TABLE 4-6)	15 FT	15 FT	G.001	
1.07	SIDE SETBACKS	CHAPTER 4 (TABLE 4-6)	10 FT	10 FT	G.001	
1.08	REAR YARD OPEN SPACE	CHAPTER 4 (TABLE 4-6)	407 SF	-	G.001	
1.09	BUILDING HEIGHT (MAX) / NO. OF FLOORS	CHAPTER 4 (TABLE 4-6)	35FT MAX	26'-5" / 2 STORY	G.001	
CHAPTER 3 OCCUPANCY CLASSIFICATION AND USE						
2.00	OCCUPANCY CLASSIFICATION	310.6	A-2	A-2		
CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS						
3.00	ALLOWABLE BLDG HEIGHT IN FEET ABOVE GRADE PLANE	TABLE 504.3	35 FT	35FT	A.201	
3.01	ALLOWABLE NO. OF STORIES ABOVE GRADE PLANE	TABLE 504.4	3 STORIES	2 STORY	A.201	
3.02	ALLOWABLE BLDG AREA	TABLE 506.2	5,000 SF	2,247 SF		
3.03	INCIDENTAL USES	TABLE 509	R-5 BOILER AND FURNACE ROOMS: 1 HR	1 HR		
CHAPTER 6 TYPES OF CONSTRUCTION						
4.00	FIRE RESISTANCE RATING REQUIREMENTS	TABLE 601	VA	VA		FIRST FLOOR ADDITION
4.01	EXTERIOR BEARING WALL	TABLE 601	1 HR	1 HR	A.001	
4.02	INTERIOR BEARING WALL	TABLE 601	1 HR	1 HR	A.001	
4.03	EXTERIOR NON-BEARING WALL	TABLE 602	1 HR	1 HR	A.001	
4.04	INTERIOR NON-BEARING WALL	TABLE 601	0 HR	0 HR	A.001	
4.05	FLOOR CONSTRUCTION & ASSOCIATED SECOND MEMBERS	TABLE 601	1 HR	1 HR	A.001	
4.06	ROOF CONSTRUCTION & ASSOCIATED SECOND MEMBERS	TABLE 601	1/2 HR	1/2 HR	A.001	
CHAPTER 7 FIRE AND SMOKE PROTECTION FEATURES						
5.00	MINIMUM DISTANCE OF PROJECTION	TABLE 705.2				
5.00a		TABLE 705.2.1	2 FT TO LESS THAN 3 FT	24 IN		
5.01	CORNICES, EAVE OVERHANGS, BAY WINDOWS, ORIEL WINDOWS AND SIMILAR DECORATIVE PROJECTIONS ON BLDGS NOT EXCEEDING 40 FT IN BLDG HEIGHT		0 FT TO LESS THAN 3 FT: PERMITTED	12 IN PROJECTIONS		
CHAPTER 8 INTERIOR FINISHES						
6.00	INTERIOR WALL AND CLG FINISHES	TABLE 803.13	CLASS A	CLASS A		
6.01	MIN OPENING AREA	R310.2	NET CLEAR OPENING NOT < 5.75F OR NET CLEAR HEIGHT NOT < 24IN & NET CLEAR WIDTH NOT < 20IN	TBD		
CHAPTER 10 MEANS OF EGRESS						
7.00	TYPES OF EXITS	1010	DOORS	DOORS		
7.01	MIN NO. OF EXITS	TABLE 1006.3.2	2	2		
7.02	TRAVEL DISTANCE TO EXITS	TABLE 1006.2.1	60 FT	60 FT		
7.03	CEILING HEIGHT	1003.2	7'-6" MIN	9 FT		
7.04	MINIMUM WIDTH OF EXITS	1010.1.1	32" MIN	36" PROVIDED		
7.05	SWING OF EXIT DOORS	1010.1.2.1	x=50 OCCUPANT: NOT IN DIRECTION OF EGRESS	INWARD SWING		
7.06	STAIRWAY HEADROOM	1011.3	84 IN MIN.	> 84 IN		
7.07a	MAX RISER HEIGHT	1011.5.2 (EXCEPTION 3)	8 IN	8 IN		
7.07b	MIN TREAD DEPTH	1011.5.2 (EXCEPTION 3)	9 IN	9 IN (INCLUDING NOSING)		
7.07c	NOSING	1011.5.2 (EXCEPTION 3)	1 IN (MIN) - 1 1/4 IN (MAX)	1 IN		
7.08	LANDINGS (VERTICAL RISE)	1011.8 (EXCEPTION 2)	12'-7" MAX BETWEEN LEVELS	< 12 FT		
7.09	HANDRAILS	1011.11.1	HANDRAIL ON ONE SIDE	1 HANDRAIL PROVIDED		
ENERGY CONSERVATION CODE						
8.00	CLIMATE ZONE	TABLE 502.2(1)	ZONE 5	ZONE 5		
8.01	WALL R-VALUE	TABLE 502.2(1)	R13 + R-3.8 CI	R-20		
8.02	CEILING R-VALUE	TABLE 502.2(1)	R-38	R-38		
8.03	FLOOR R-VALUE	TABLE 502.2(1)	R-30	R-30		
8.04	BASEMENT WALL R-VALUE	TABLE 502.2(1)	R-7.5 CI	R-10		
8.05	SLAB R-VALUE AND DEPTH	TABLE 502.2(1)	N/A	N/A		

CITY APPROVAL STAMP:

PUB 72 FIRST FLOOR ADDITION
FIRST FLOOR ADDITION TO EXISTING PUB AND GRILL

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

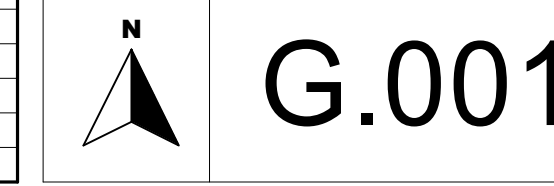
No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23
2	REVISION 1	02/13/23

STAMP:

- DRAWING INDEX**
- G.001 COVER SHEET
 - G.002 GEN. NOTES & SYMBOLS
 - A.101 EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
 - A.102 PROPOSED 1ST FLOOR AND ROOF PLANS
 - A.201 BUILDING ELEVATIONS
 - A.202 BUILDING ELEVATIONS
 - A.400 TYPICAL DETAILS
 - H.100 HVAC FLOOR PLANS
 - E.101 1ST FLOOR ELECTRICAL PLAN

SHEET TITLE:
COVER SHEET

SCALE: As indicated
DATE: 01/11/23



2/13/2023 7:14:20 AM

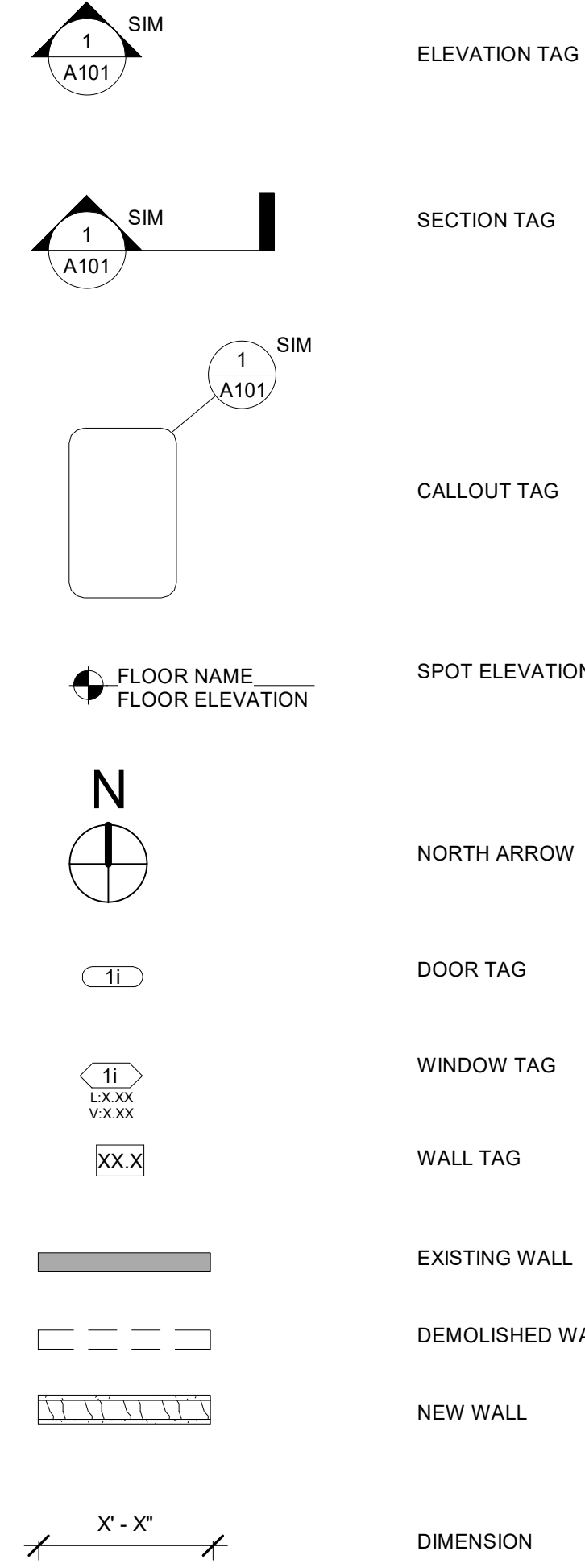
1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

GENERAL NOTES

- ALL CONSTRUCTION SHOULD BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF GILBERTS BUILDING CODES, AMENDMENTS, AND ALL OTHER APPLICABLE FEDERAL, STATES, AND LOCAL LAWS AND ORDINANCES, ACCESSIBILITY CODES, STANDARD, AND REGULATORY AGENCIES.
- ALL REFERENCES TO CODES, SPECIFICATIONS AND STANDARD REFERRED TO IN THE SPECIFICATIONS AND / OR DRAWINGS SHALL MEAN THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE IN EFFECT AS OF THE LATEST DATE OF THE CONTRACT DOCUMENTS. ALL WORK SHOULD COMPLY WITH THE REQUIREMENTS, POLICIES, AND PROCEDURES OF THE OWNER.
- DRAWINGS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS, MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPES OF THE DETAIL REQUIRED FOR WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
- EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL WORK WHICH DIFFERS FROM CONTRACT DOCUMENTS SO THAT ACCURATE RECORD DRAWINGS AND SPECIFICATIONS CAN BE KEPT AND PROVIDED TO THE OWNER AT PROJECT CLOSE OUT.
- EACH CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF, FAILURE TO EXAMINE THE SITE AND DETERMINE EXISTING CONDITIONS OR NATURE OF NEW CONSTRUCTION, OR NATURE AND EXTEND THE WORK TO BE PERFORMED BY OTHER TRADES WILL NOT BE CONSIDERED A BASIS FOR GRANTING OF ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTIONS DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTIONS OPERATIONS, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
- ANY UTILITY SHUT-OFFS AS REQUIRED BY THE CONTRACTOR FOR COMPLETION OF THEIR WORK SUCH AS ELECTRICAL, GAS, METER, SEWER, ETC. MUST BE SCHEDULE WITH THE OWNER PRIOR TO COMMENCING WORK.
- DO NOT SCALE THE DRAWINGS, DIMENSIONS SHALL GOVERN, LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE. WHERE A DISCREPANCY MAY EXIST BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE RESTRICTIVE THE MORE RESTRICTIVE OR EXPENSIVE REQUIREMENTS SHALL GOVERN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSION ON SITE, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS AND / OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- ALL PARTITIONS ARE DIMENSIONED TO THE FACE, UNLESS NOTED OTHERWISE. WHERE SPECIFIC DIMENSIONS, DETAILS AND / OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK IN QUESTION.
- DOOR OPENINGS THAT ARE NOT DIMENSIONALLY LOCATED ARE TO BE CENTERED BETWEEN WALLS OR POSITIONED WITH ONE JAM CASING TRIM AGAINST AN ADJACENT WALL OR COLUMN AS SHOWN IN THE PLANS AND / OR DETAILS.
- REFER TO THE SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND ADDITIONAL CONSULTANTS DRAWINGS FOR FULL COORDINATION OF WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING FOR INSTALLATION OF HAND RAILS, MILLWORK, WINDOW TREATMENTS, WALL PANELS, GRAB BARS, AND ALL OTHER SURFACE MOUNTED COMPONENTS.
- THE CONTRACTOR SHALL COORDINATE ADDITIONAL AND VERIFY THE EXACT SIZE AND LOCATION OF ALL FLOOR PENETRATIONS AND OPENINGS IN WALLS AND CEILINGS WITH EACH OF THE RESPECTIVE MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS, ALL PARTITIONS SHALL ADEQUATELY BRACED AND OPENINGS REINFORCED. SUBMIT COORDINATED DRAWING OF ALL PENETRATIONS FOR REVIEW.
- GENERAL CONTRACTOR TO COORDINATE ALL LIGHTING FIXTURES, ELECTRICAL DEVICES, AND DUCT WORK LAYOUT, AND SHALL IDENTIFY ALL POTENTIAL CONFLICTS INVOLVING ELEMENTS WITH IN THE CEILING CAVITY. ANY VARIATIONS OR CONFLICTS WITH CEILING HEIGHT SHOWN SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN ADVANCE OF ANY MEP /FP DEVICES REQUIRED AS PART OF THE SPECIFIED SYSTEM WHICH ARE TO BE MOUNTED IN FINISH SPACES AND ARE NOT LOCATED IN THE ARCHITECTURAL DRAWINGS. THE ARCHITECT WILL DETERMINE THE MOUNTING LOCATION, HEIGHT AND DETAIL FOR ATTACHMENT.
- FIELD-VERIFICATION OF EXISTING CONDITIONS RELATED TO SPECIFIC PORTIONS OF THE WORK SHALL BE UNDERTAKEN IN ADVANCE TO ALLOW FOR THE TIMELY IDENTIFICATION OF EXISTING CONDITIONS THAT MAY AFFECT THE SCHEDULED INSTALLATION OF NEW WORK AS DESIGN AND DETAIL, AND TO AVOID UNDUE AND UNREASONABLE DELAYS TO THE PROJECTS SHOULD THOSE CONDITIONS BE DISCOVERED. TIMELY IDENTIFICATIONS OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF TEN (10) WORKING DAYS DURING WHICH TIME THE ARCHITECT WILL EVALUATE THE CONDITIONS AND MAKE RECOMMENDATIONS FOR ACCOMMODATING THE NEW WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSIST THE ARCHITECT IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, IN NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, CONCEALED OR OTHERWISE UN-ANTICIPATED EXISTING CONDITIONS AFFECTING NEW CONSTRUCTION.
- THE CONTRACTOR SHALL FURTHER ASSIST THE ARCHITECT BY PROVIDING IN A TIMELY MANNER PREPARED SOLUTIONS TO UNANTICIPATED EXISTING CONDITIONS.
- THE ARCHITECT HAS ENDEAVOR TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE DRAWINGS AND SPECIFICATIONS EXISTING ITEMS OF EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED SO AS TO ALLOW THE EXECUTION OF NEW WORK.
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY UNFINISHED WALL AREAS THAT MAY BE EXPOSED AS A RESULT OF ADJUSTING FINISHED CEILING HEIGHTS. THE CONTRACTOR IS RESPONSIBLE FOR FINISHING THESE AREAS TO MATCH EXISTING ADJACENT FINISH AREAS AND FIRE-RATED ASSEMBLIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINT OF ACCESS SHALL BE APPROVED BY THE OWNER.
- HE CONTRACTOR SHALL DETERMINE WITH HIS PROFESSIONAL ENGINEER THAT THE MEANS AND METHODS ALL TEMPORARY MEASURES REQUIRED DURING ALL PHASES OF WORK AND COORDINATE WITH THE CAPACITY OF THE EXISTING BUILDING STRUCTURE.
- MAINTAIN AT THE JOB SITE ONE COPY OF ALL DRAWINGS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, FIELD ORDERS, AND OTHER CONTRACT MODIFICATIONS, AND OTHER APPROVED DOCUMENTS SUBMITTED BY THE CONTRACTOR IN COMPLIANCE WITH VARIOUS SECTIONS OF THE SPECIFICATIONS.
- EACH OF THESE CONTRACTORS PROJECT RECORD DOCUMENTS SHALL BE CLEARLY MARKED "PROJECT RECORD COPY" MAINTAINED IN GOOD CONDITION, AVAILABLE ALL TIMES FOR OBSERVATION BY THE ARCHITECT, AND NOT USED FOR CONSTRUCTION PURPOSES.
- MARKED ON THE MOST APPROPRIATE DOCUMENTS TO SHOW SIGNIFICANT CHANGES MADE DURING THE CONSTRUCTION PROCESS, AND SIGNIFICANT DETAIL NOT SHOWN IN THE ORIGINAL CONTRACT DOCUMENTS. THE INFORMATION GIVEN SHALL INCLUDE, BUT NOT LIMITED TO:
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE THE OWNER COMPLETE DOCUMENTS MARKED "PROJECT RECORD DOCUMENTS" SHOWING CHANGES TO BE ORIGINAL DOCUMENTS AS PER SPECIFICATIONS.
- ALL CONDUIT, PIPING, DUCTWORK, AND MECHANICAL SYSTEM SHALL BE INSTALLED WITH IN OR TIGHT TO THE UNDERSIDE OF STRUCTURE WHERE FEASIBLE.

- PRODUCT REQUIREMENTS (SCOPE OF WORK) - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR MATERIAL'S INSTITUTE STANDARDS. WHERE THE MANUFACTURER'S RECOMMENDED DETAILS ARE USED, THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THEIR PRODUCT. ALL ITEMS NOT SPECIFICALLY MENTIONED THAT ARE REQUIRED TO MAKE THE WORK COMPLETE AND OPERATIONAL SHALL BE INCLUDED.
- INSTALLATION AND STORAGE - ALL MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PER APPLICABLE CODES AND REQUIREMENTS. MATERIAL STORED ON SITE SHALL BE PROTECTED FROM DAMAGE BY MOISTURE, WIND, SUN, ABUSE OR ANY OTHER HARMFUL AFFECTS.
- EXECUTION REQUIREMENTS - THE EXECUTION OF ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THESE SPECIFICATIONS AND MANUFACTURER'S WRITTEN SPECIFICATIONS OR MATERIAL'S INSTITUTE STANDARDS. WHERE THE MANUFACTURER'S RECOMMENDED DETAILS ARE USED, THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THEIR PRODUCT. ALL WORK NOT SPECIFICALLY MENTIONED THAT IS REQUIRED TO MAKE THE WORK COMPLETE AND OPERATIONAL SHALL BE INCLUDED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE COMPLIANCE WITH SAID CODES AND MODIFY THE SPECIFICATIONS AS NEEDED TO COMPLY WITH SUCH CODES.
- MEASUREMENTS - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. GENERAL - CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS AND PROVIDE LABOR AND MATERIALS PERTAINING TO CONCRETE AS REQUIRED IN SAID DOCUMENTS AND AS SPECIFIED HEREIN, WHILE COMPLYING WITH ALL APPLICABLE BUILDING CODES.

SYMBOLS



ABBREVIATIONS

A/C	AIR CONDITION	IN	INCHES
AB	ANCHOR BOLT	INFO	INFORMATION
ACT	ACOUSTICAL CEILING TILE	INSUL	INSULATION
ADDTL	ADDITIONAL	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	JST	JOIST
AGGR	AGGREGATE	KIT	KITCHEN
AGL	ANGLE	LAV	LAVATORY
ALUM	ALUMINUM	LB	POUNDS
AP	ACCESS PANEL	LGTH	LENGTH
APPROX	APPROXIMATE	LL	LIVE LOAD
ARCH	ARCHITECTURAL	LOC	LOCATION
ASPH	ASPHALT	LT	LIGHT
BD	BOARD	LTG	LIGHTING
BLDG	BUILDING	LVL	LAMINATED VENEER LUMBER
BLKG	BLOCKING	MAS	MASONRY
BM	BEAM	MATL	MATERIAL
BOTT	BOTTOM	MAX	MAXIMUM
BRK	BRICK	MIN	MINIMUM
CAB	CABINET	MISC	MISCELLANEOUS
CD	CEILING DIFFUSER	MO	MASONRY OPENING
CIP	CAST-IN-PLACE	MTD	MOUNTED
CLG	CEILING	N	NORTH
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
COL	COLUMN	NL	NATURAL LIGHT
CONC	CONCRETE	NTS	NOT TO SCALE
COND	CONDITION	NV	NATURAL VENTILATION
CONST	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUATION	OPG	OPENING
CPT	CARPET	PART	PARTITION
CR	CEILING REGISTER	PLBG	PLUMBING
CT	CERAMIC TILE	PLYWD	PLYWOOD
CW	COLD WATER	PNL	PANEL
DEMO	DEMOLISH, DEMOLITION	PSI	POUNDS PER SQUARE INCH
DIM	DIMENSION	PVC	POLYVINYL CHLORIDE
DL	DEAD LOAD	QTY	QUANTITY
DR	DOOR	R	RISER
DS	DOWNSPOUT	REINF	REINFORCEMENT
DTL	DETAIL	REM	REMOVED
DWG	DRAWING	REQD	REQUIRED
EA	EACH	REV	REVISION
ELEC	ELECTRICAL	RM	ROOM
ENCL	ENCLOSURE	S	SOUTH
EQ	EQUAL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SIM	SIMILAR
EXH	EXHAUST	SL	SLOPE
EXIST	EXISTING	SR	SUPPLY REGISTER
EXT	EXTERIOR	SS	STAINLESS STEEL
FB	FACE BRICK	STD	STANDARD
FD	FLOOR DIFFUSER	STL	STL
FD	FLOOR DRAIN	STOR	STORAGE
FDN	FOUNDATION	STRUCT	STRUCTURAL
FF	FINISHED FLOOR	T/CLG	TOP OF CEILING
FIX	FIXTURE	T/CON	TOP OF CONCRETE
FLASH	FLASHING	T/GRADE	TOP OF GRADE
FLR	FLOOR	T/STL	TOP OF STEEL
FTG	FOOTING	TW	TOP OF WALL
FUR	FURNACE	THK	THICKNESS
FURR	FURRING	TYP	TYPICAL
FUT	FUTURE	UL	UNDERWRITERS LABORATORY
GA	GAUGE	UNON	UNLESS NOTES OTHERWISE
GALV	GALVANIZED	V	VINYL
GL	GLASS	VIF	VERIFY IN FIELD
GR	GRADE	W	WALL
GRD	GROUND	WI	WITH
GUTT	CUTTER	W/O	WITHOUT
GYP	GYPSUM	WC	WATER CLOSET
HGT	HEIGHT	WD	WALL DIFFUSER
HR	HOUR	WDW	WINDOW
HVAC	HEATING VENTILATION AIR CONDITION	WF	WIDE FLANGE
HW	HOT WATER	WH	WATER HEATER
ID	INSIDE DIAMETER	WS	WASTE STACK, WATERSTOP
		YD	YARD

CITY APPROVAL STAMP:

PUB 72 FIRST FLOOR ADDITION

THIRD FLOOR ADDITION TO AN EXISTING TWO STORY BRICK BUILDING

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23

STAMP:

DRAWING INDEX

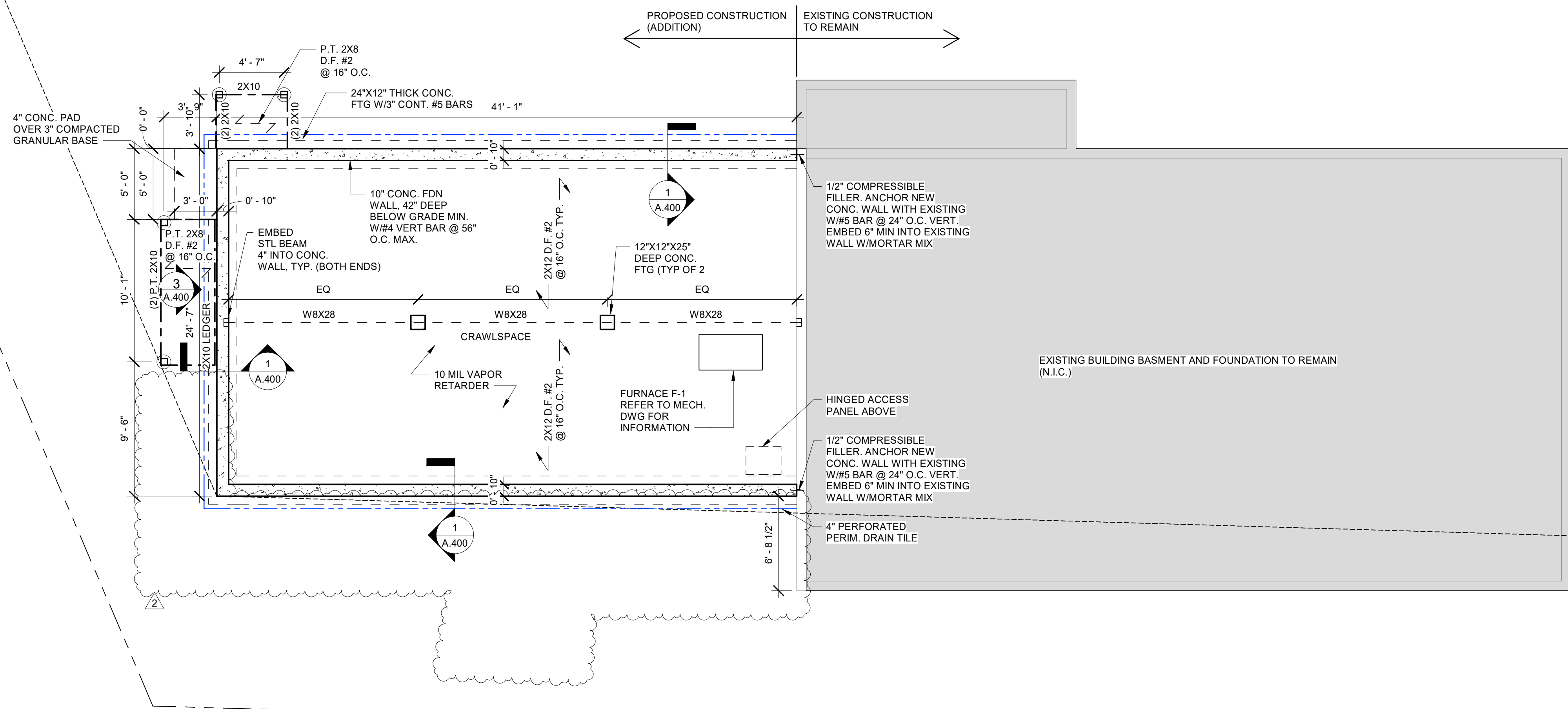
G.001	COVER SHEET
G.002	GEN. NOTES & SYMBOLS
A.101	EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
A.102	PROPOSED 1ST FLOOR AND ROOF PLANS
A.201	BUILDING ELEVATIONS
A.202	BUILDING ELEVATIONS
A.400	TYPICAL DETAILS
H.100	HVAC FLOOR PLANS
E.101	1ST FLOOR ELECTRICAL PLAN

SHEET TITLE:

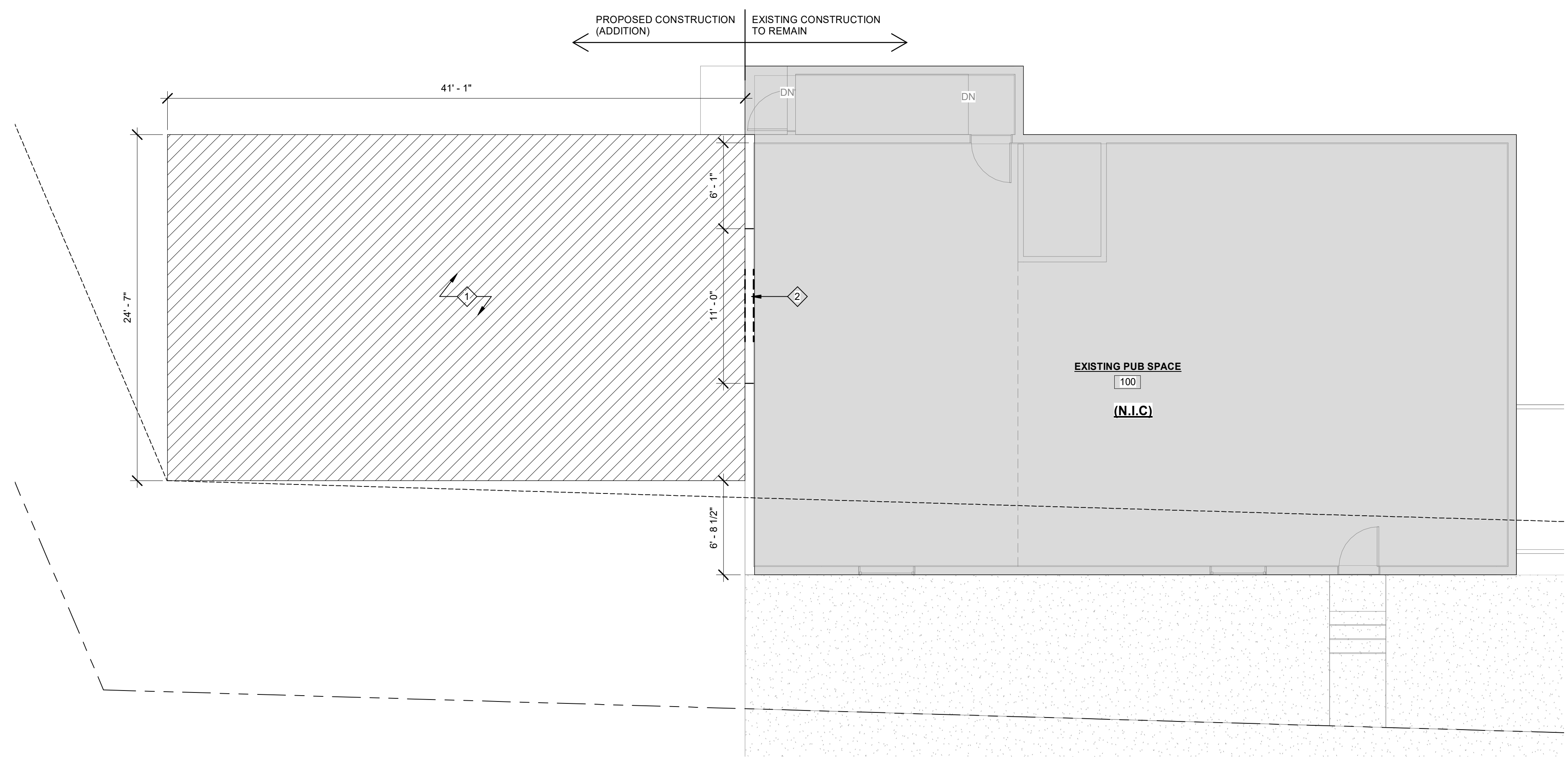
GEN. NOTES & SYMBOLS

SCALE: 12" = 1'-0"
DATE: 01/23/23

G.002



2 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

WALL LEGEND

	EXISTING WALL (TO REMAIN)
	DEMOLISHED WALL
	NEW WALL (REFER TO SHEET A0.00 FOR PARTITION TYPES)

- GENERAL NOTES:**
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO EXECUTING ANY WORK. ANY DEVIATIONS FROM THOSE SHOWN ON THE DRAWINGS SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.
 - FOUNDATION PRESSURE SHALL BE DESIGNED IN ACCORDANCE WITH TABLE 1804.2 OF IBC. ASSUME 2,500 PSF.
 - CONCRETE IN FOOTINGS SHALL HAVE A DESIGN COMPRESSIVE STRENGTH OF NOT LESS THAN 2,500 PSI AT 28 DAYS.
 - GROUT SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH OF NOT LESS THAN 2,000 PSI.
 - PROVIDE DAMPPROOFING AT ALL EXTERIOR CONCRETE FOUNDATION WALLS IN ACCORDANCE WITH IBC SECTION 1807.2.2. (BASIS OF DESIGN - W.R. MEADOWS SEALMASTIC EMULSION OR APPROVED EQ.)
 - PROVIDE MIN. R-10 MIN CONTINUOUS INSULATION ON INSIDE PERIMETER OF CRAWLSPACE.
 - PROVIDE 10 MIL VAPOR RETARDER OVER UNEXCAVATED FILL. WRAP VERTICALLY AT EXTERIOR FOUNDATION WALLS AND FOOTINGS, TYP.

- A.101 DEMO KEYNOTES**
- DEMO EXISTING ASPHALT PAVEMENT AND PREP SURFACE AS REQUIRED TO ACCOMMODATE NEW FOUNDATION.
 - DEMO PORTION OF EXISTING WALL TO ACCOMMODATE NEW STOREFRONT.

CITY APPROVAL STAMP:

PUB 72 FIRST FLOOR ADDITION
THIRD FLOOR ADDITION TO AN EXISTING TWO STORY BRICK BUILDING

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23
2	REVISION 1	02/13/23

STAMP:

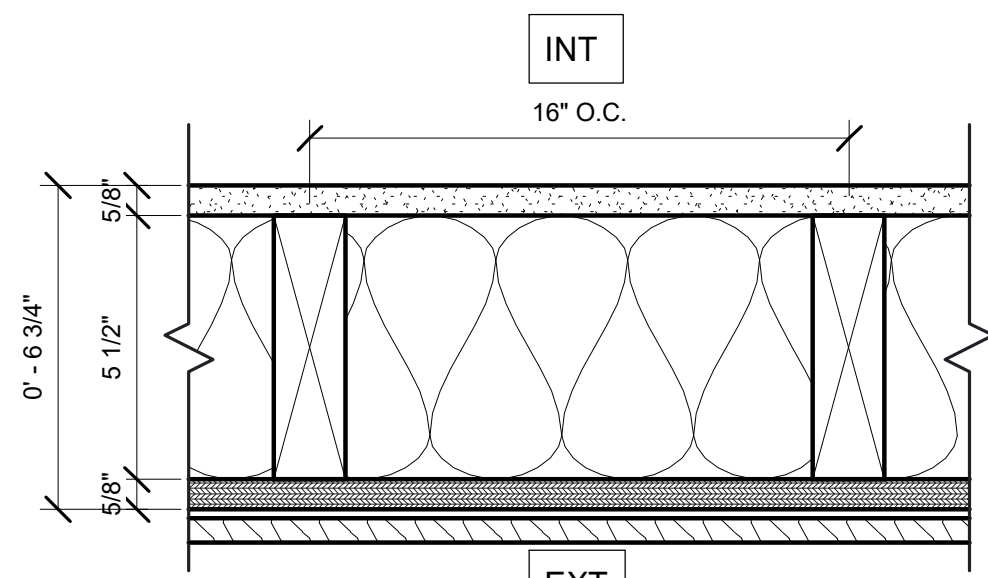
DRAWING INDEX

G.001	COVER SHEET
G.002	GEN. NOTES & SYMBOLS
A.101	EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
A.102	PROPOSED 1ST FLOOR AND ROOF PLANS
A.201	BUILDING ELEVATIONS
A.202	BUILDING ELEVATIONS
A.400	TYPICAL DETAILS
H.100	HVAC FLOOR PLANS
E.101	1ST FLOOR ELECTRICAL PLAN

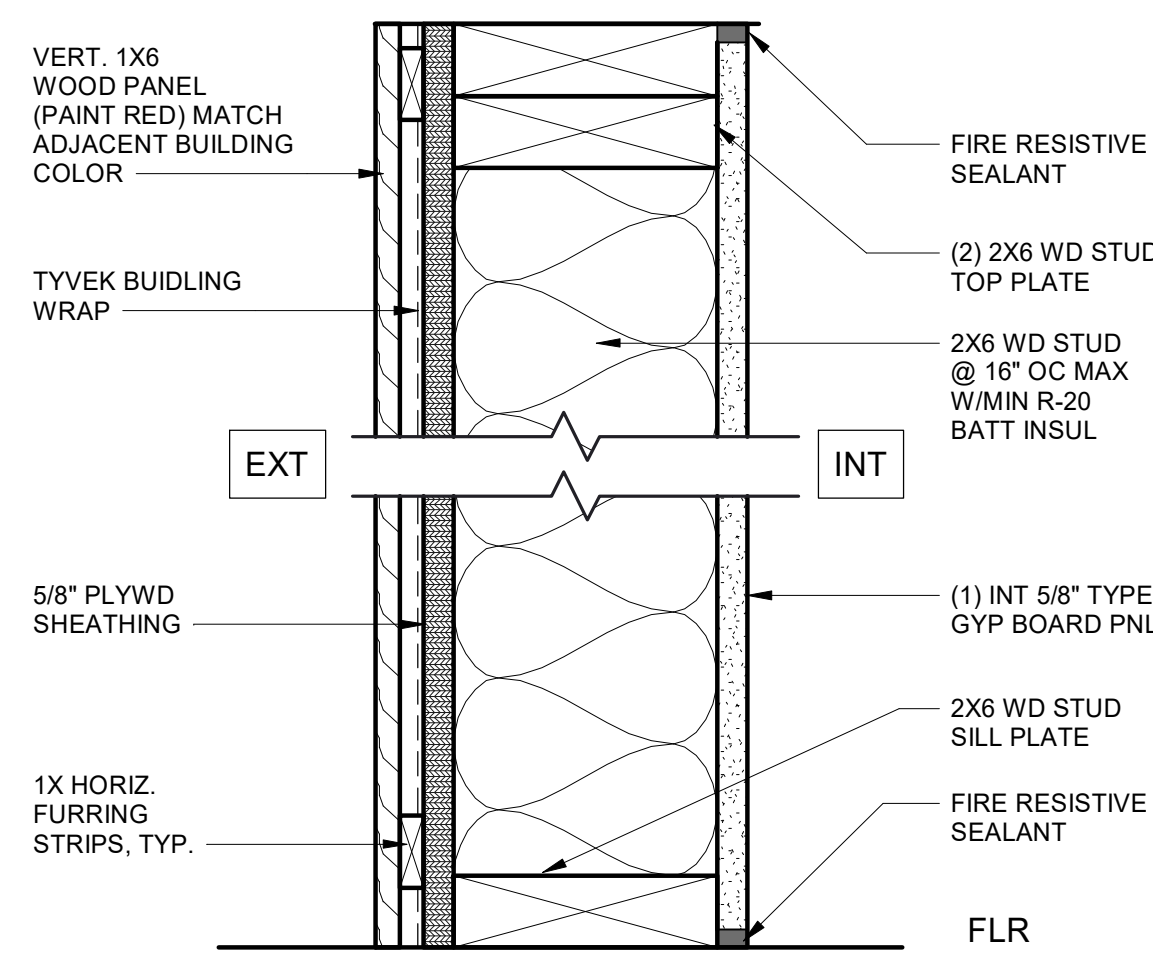
SHEET TITLE:
EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS

SCALE: As indicated
DATE: 01/23/23

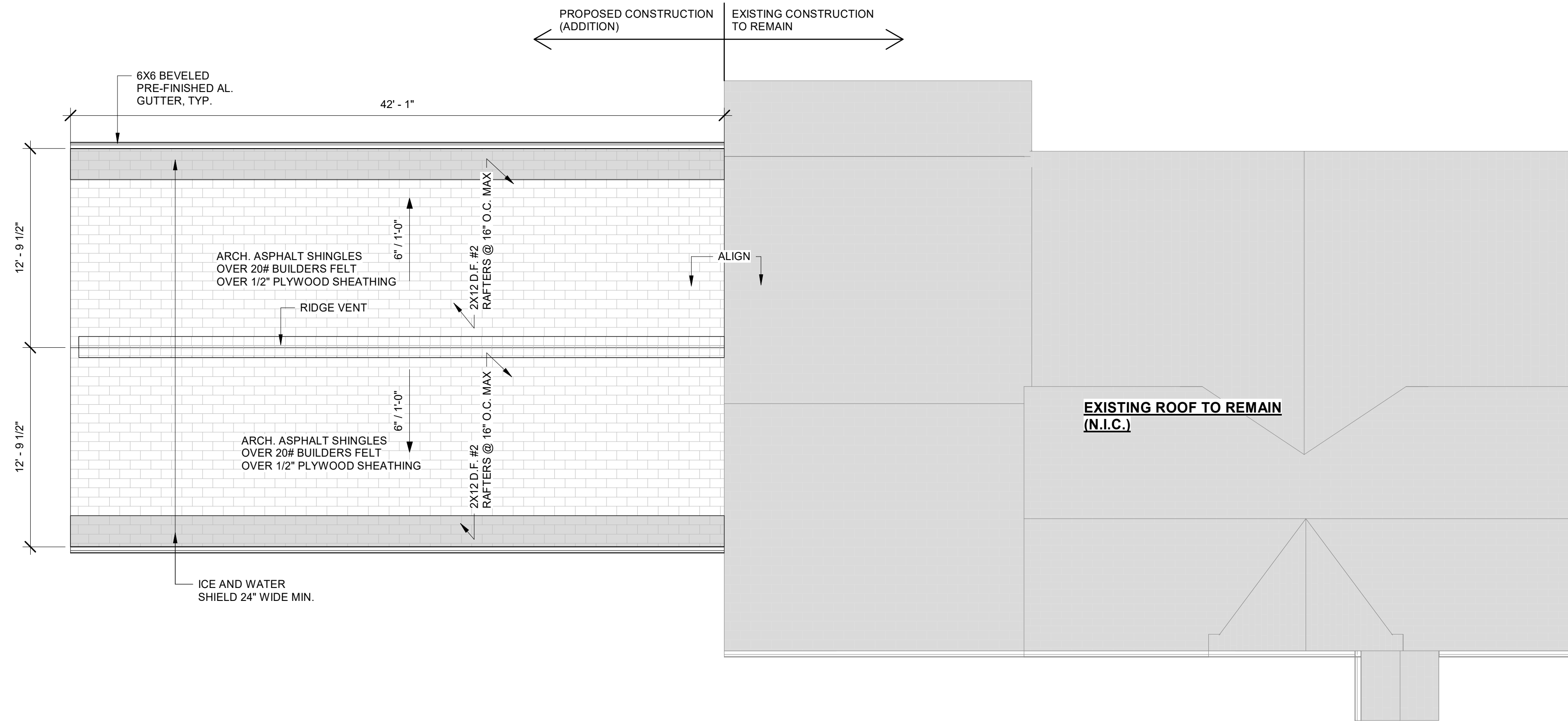
A.101



PLAN VIEW



SECTION VIEW

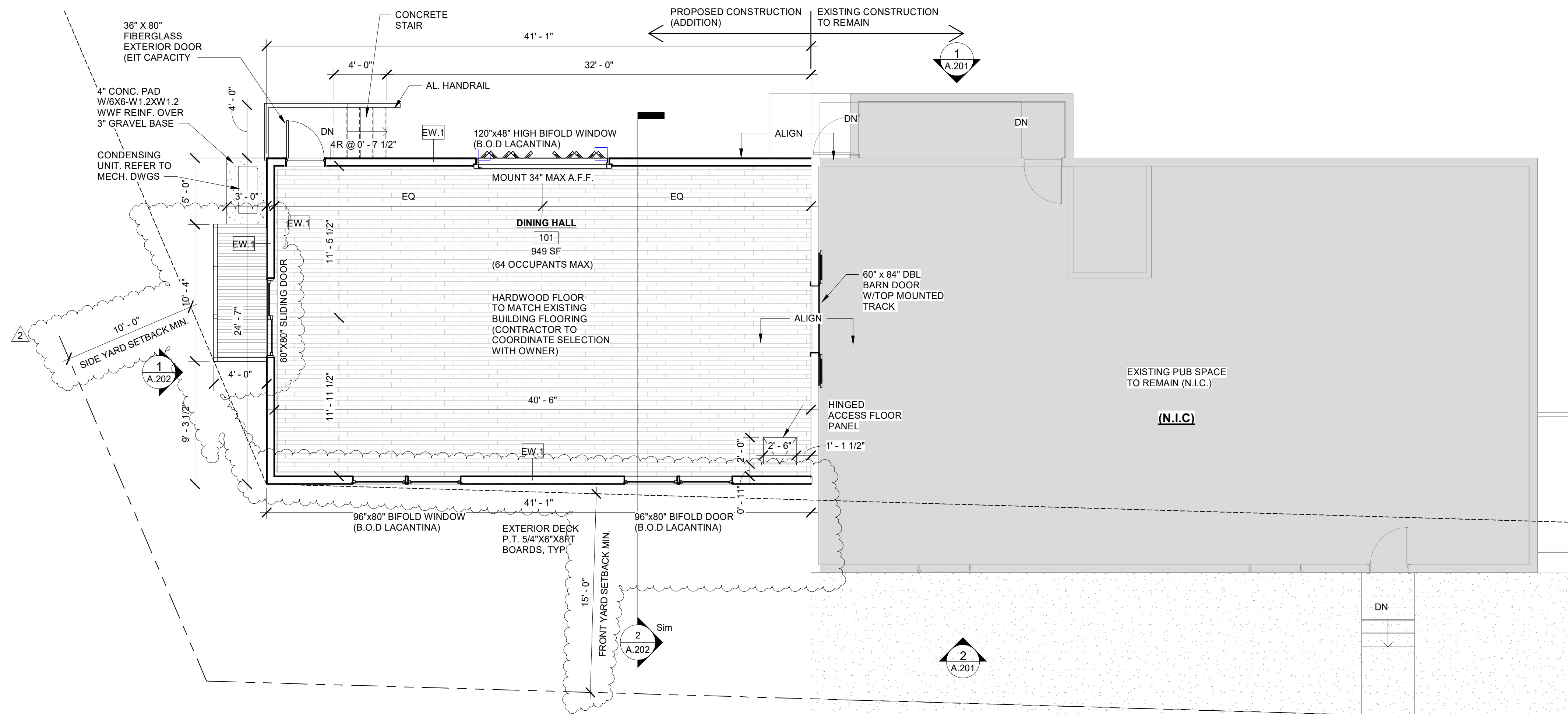


2 T/ROOF
SCALE: 3/16" = 1'-0"

EW.1 EXT WOOD VERTICAL SIDING
SCALE: 3" = 1'-0"

WALL LEGEND	
	EXISTING WALL (TO REMAIN)
	DEMOLISHED WALL
	NEW WALL (REFER TO SHEET A0.00 FOR PARTITION TYPES).

- GENERAL NOTES:**
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO EXECUTING ANY WORK. ANY DEVIATIONS FROM THOSE SHOWN ON THE DRAWINGS SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.
 - ALL EXTERIOR WALLS SHALL BE 2X6 WITH R-20 FIBERGLASS INSULATION WITHIN THE CAVITY. U.N.O.
 - ALL WOOD SHALL BE DOUGLAS FIR LARCH #2 U.N.O.
 - CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ALL FINISHES PRIOR TO ORDERING.
 - ALL BIFOLD DOOR SHALL BE FROM LACANTINA OR APPROVED EQUAL.
 - ROOF SHALL BE A CLASS A ROOF ASSEMBLY.
 - ALL INTERIOR FINISHES SHALL BE CLASS A.
 - EGRESS DOORS SHALL HAVE PANIC HARDWARE.



1 PROPOSED 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"

CITY APPROVAL STAMP:

PUB 72 FIRST FLOOR ADDITION
FIRST FLOOR ADDITION TO EXISTING PUB AND GRILL

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23
2	REVISION 1	02/13/23

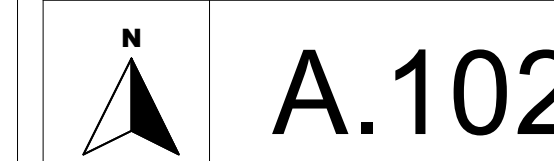
STAMP:

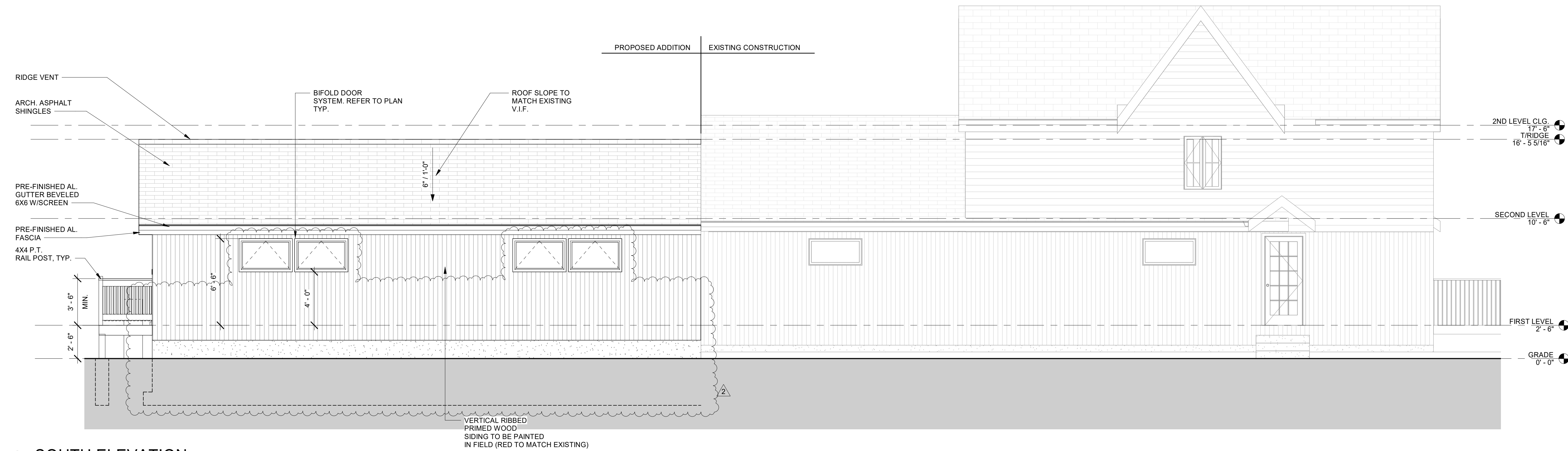
DRAWING INDEX

G.001	COVER SHEET
G.002	GEN. NOTES & SYMBOLS
A.101	EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
A.102	PROPOSED 1ST FLOOR AND ROOF PLANS
A.201	BUILDING ELEVATIONS
A.202	BUILDING ELEVATIONS
A.400	TYPICAL DETAILS
H.100	HVAC FLOOR PLANS
E.101	1ST FLOOR ELECTRICAL PLAN

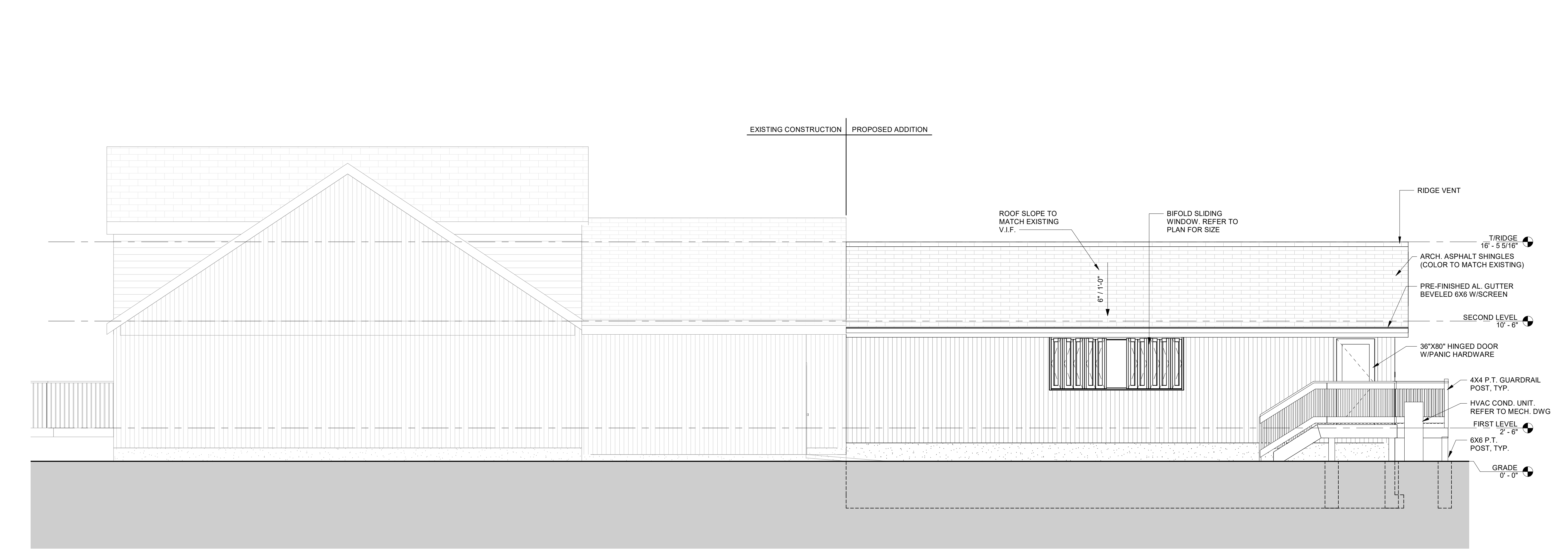
SHEET TITLE:
PROPOSED 1ST FLOOR AND ROOF PLANS

SCALE: As indicated
DATE: 01/23/23





2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PUB 72 FIRST FLOOR ADDITION
FIRST FLOOR ADDITION TO EXISTING PUB AND GRILL

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23
2	REVISION 1	02/13/23

STAMP:

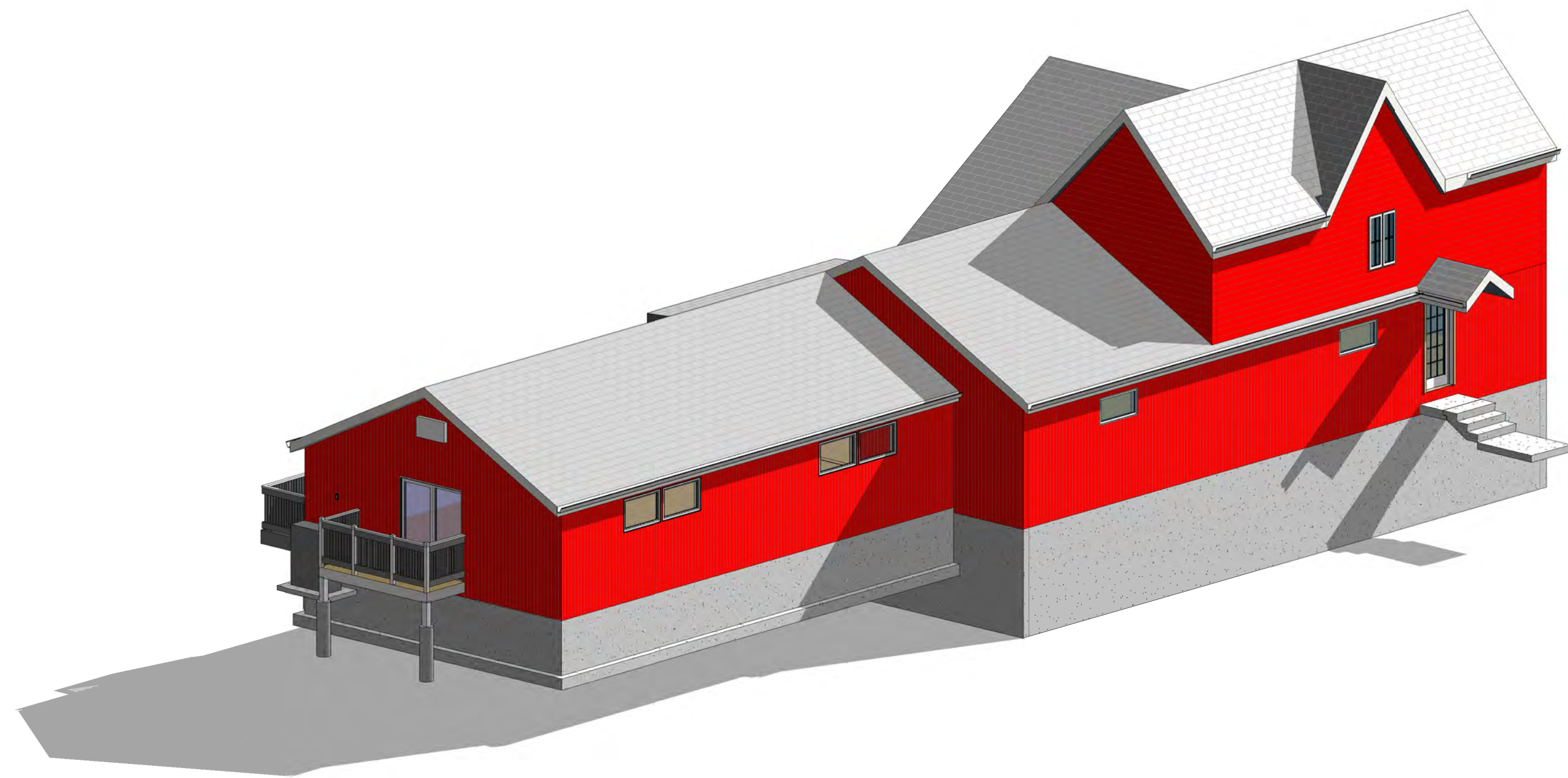
DRAWING INDEX

- G.001 COVER SHEET
- G.002 GEN. NOTES & SYMBOLS
- A.101 EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
- A.102 PROPOSED 1ST FLOOR AND ROOF PLANS
- A.201 BUILDING ELEVATIONS
- A.202 BUILDING ELEVATIONS
- A.400 TYPICAL DETAILS
- H.100 HVAC FLOOR PLANS
- E.101 1ST FLOOR ELECTRICAL PLAN

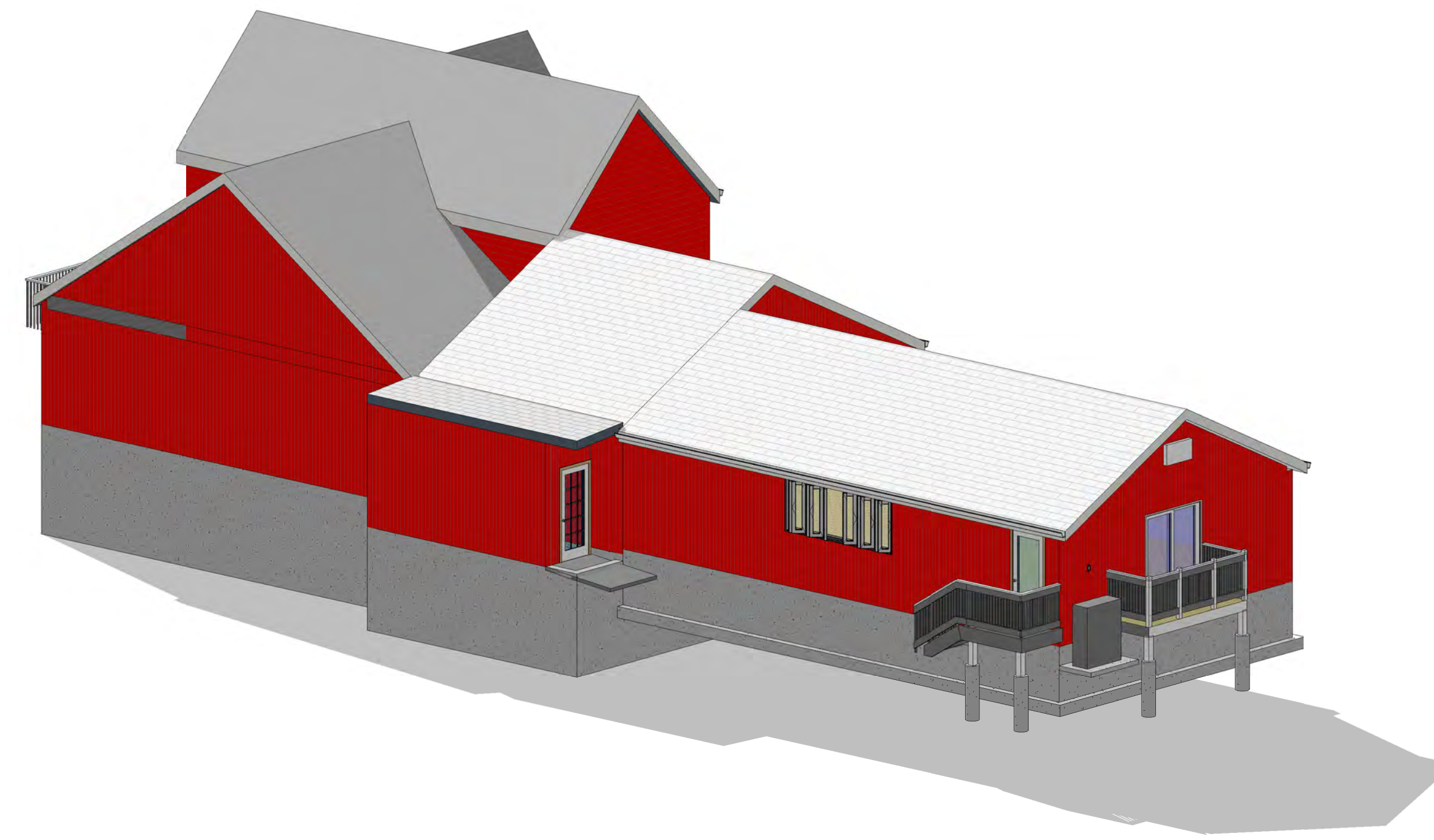
SHEET TITLE:
BUIDING ELEVATIONS

SCALE: 1/4" = 1'-0"
DATE: 01/23/23

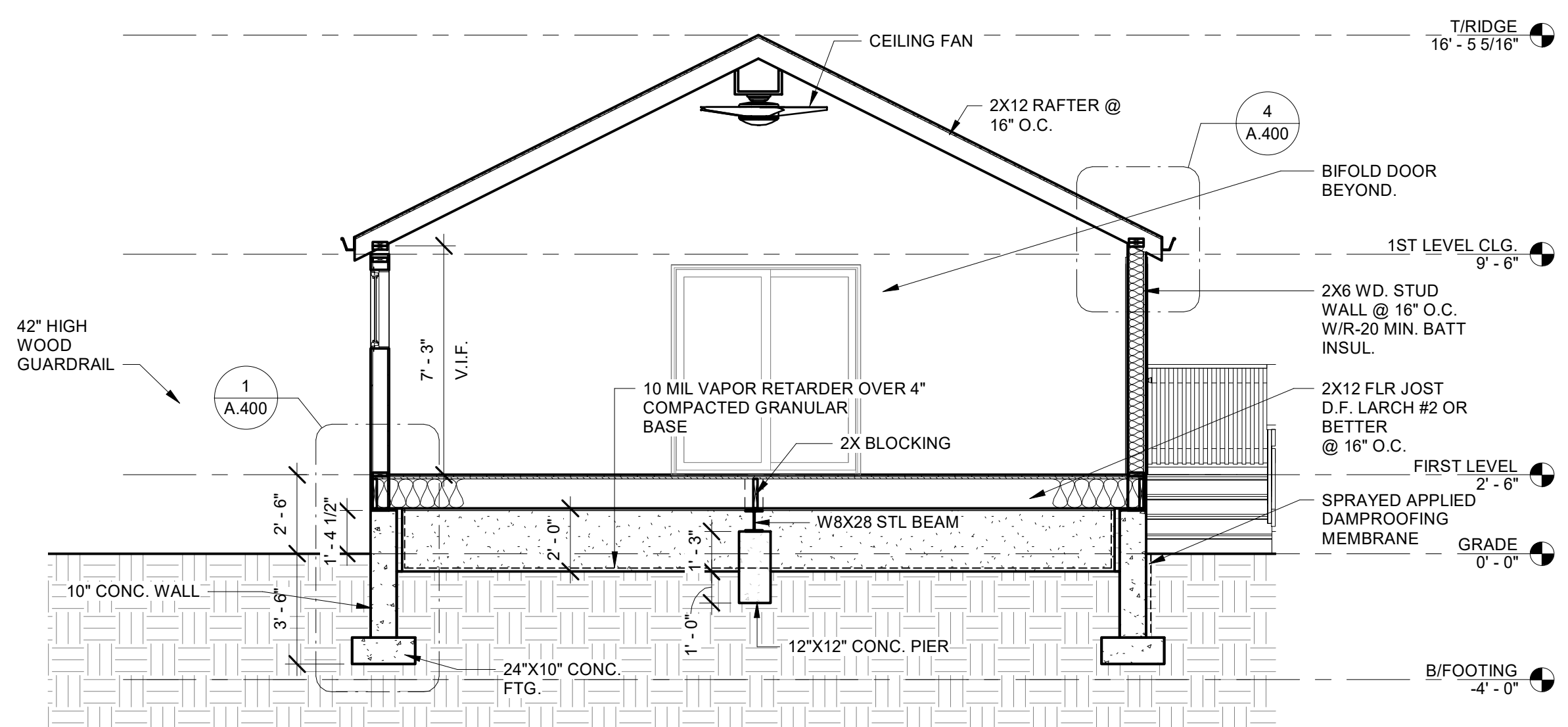
A.201



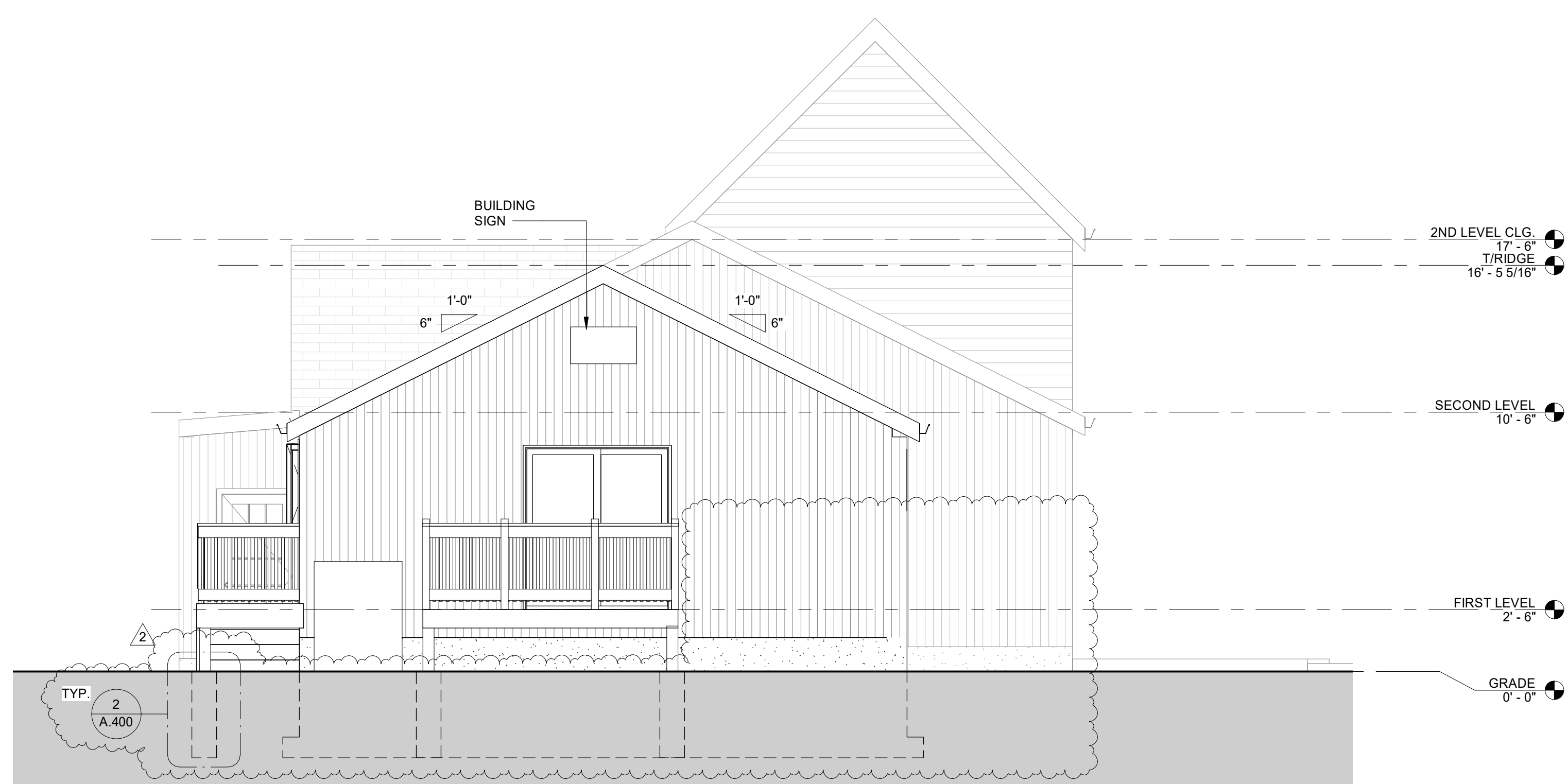
3 SOUTHWEST CORNER VIEW
SCALE:



4 NORTHWEST CORNER VIEW
SCALE:



2 ADDITION CROSS-SECTION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

PUB 72 FIRST FLOOR ADDITION
FIRST FLOOR ADDITION TO EXISTING PUB AND GRILL

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23
2	REVISION 1	02/13/23

STAMP:

DRAWING INDEX

G.001	COVER SHEET
G.002	GEN. NOTES & SYMBOLS
A.101	EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
A.102	PROPOSED 1ST FLOOR AND ROOF PLANS
A.201	BUILDING ELEVATIONS
A.202	BUILDING ELEVATIONS
A.400	TYPICAL DETAILS
H.100	HVAC FLOOR PLANS
E.101	1ST FLOOR ELECTRICAL PLAN

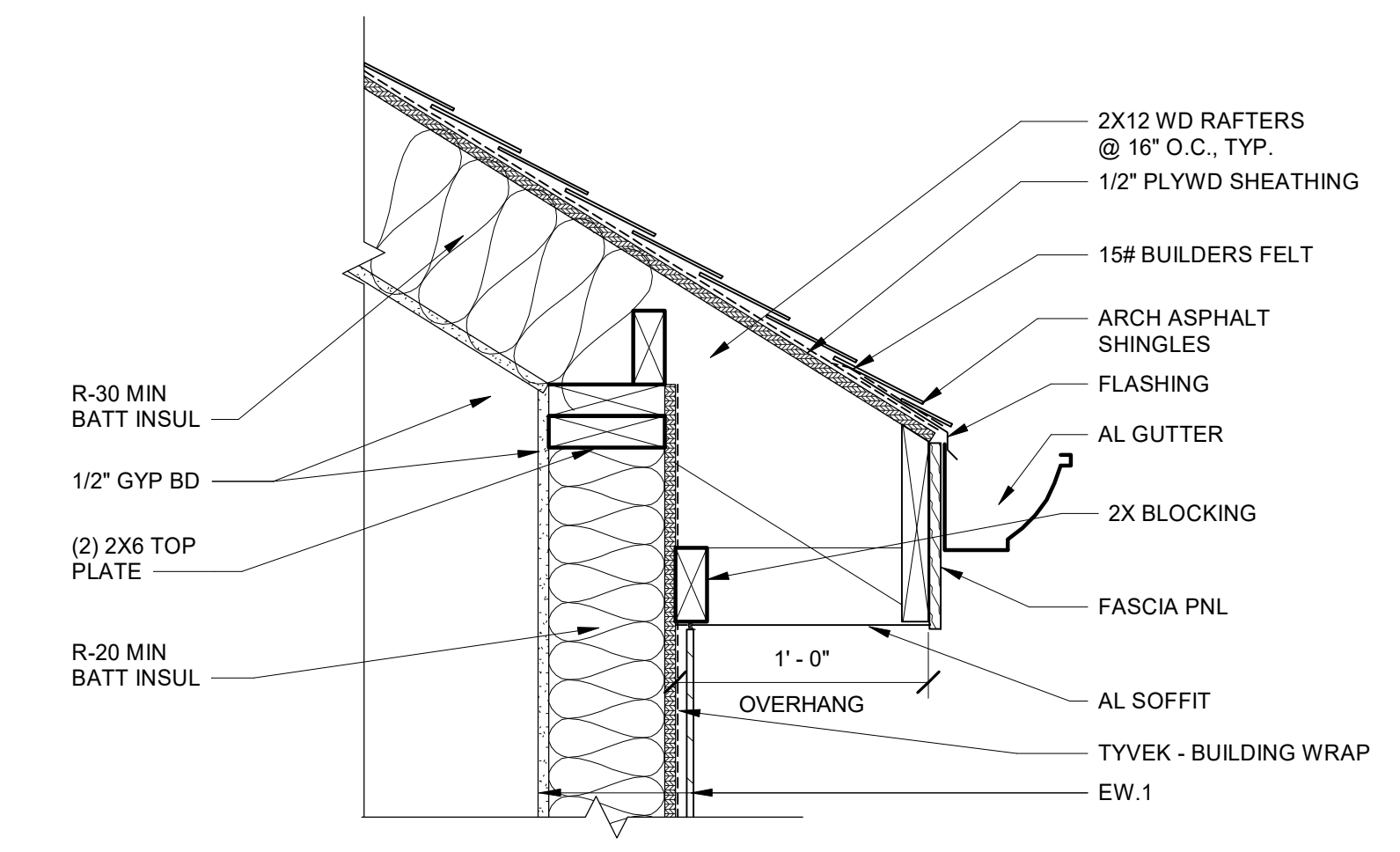
SHEET TITLE:
BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"
DATE: 01/23/23

A.202

PUB 72 FIRST FLOOR ADDITION

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136



4 ROOF EAVE DETAIL
A.202 SCALE: 1 1/2" = 1'-0"

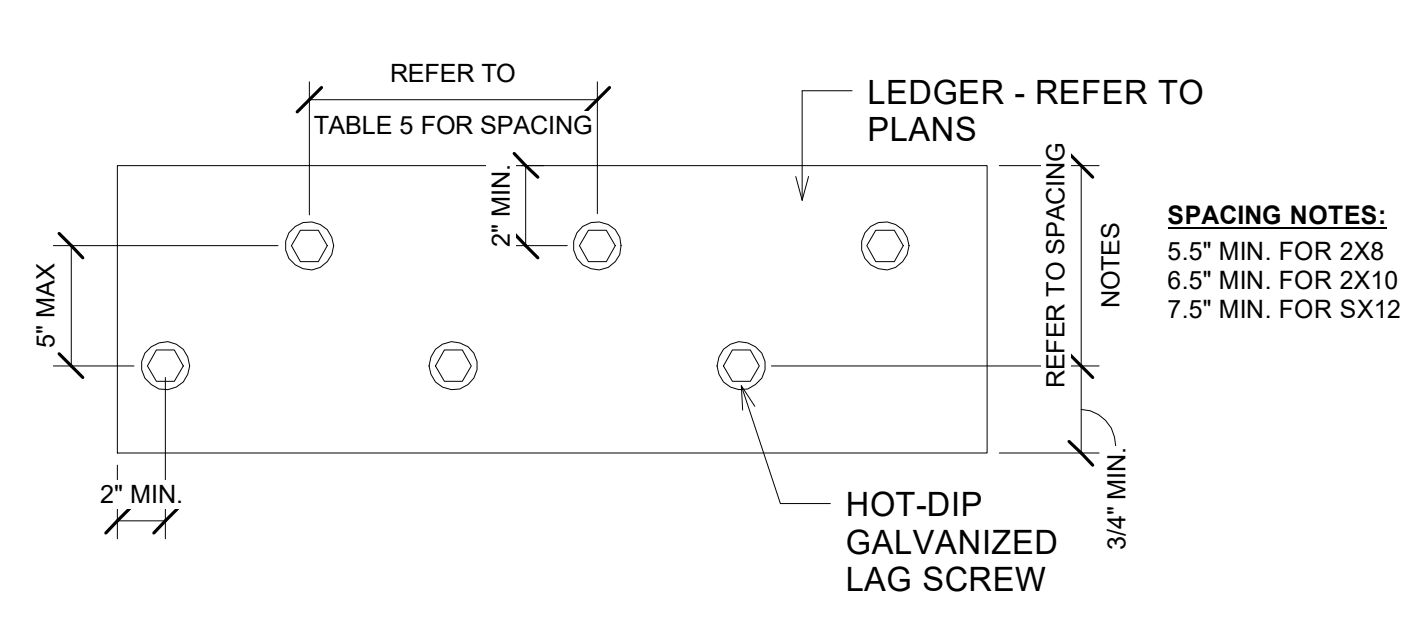
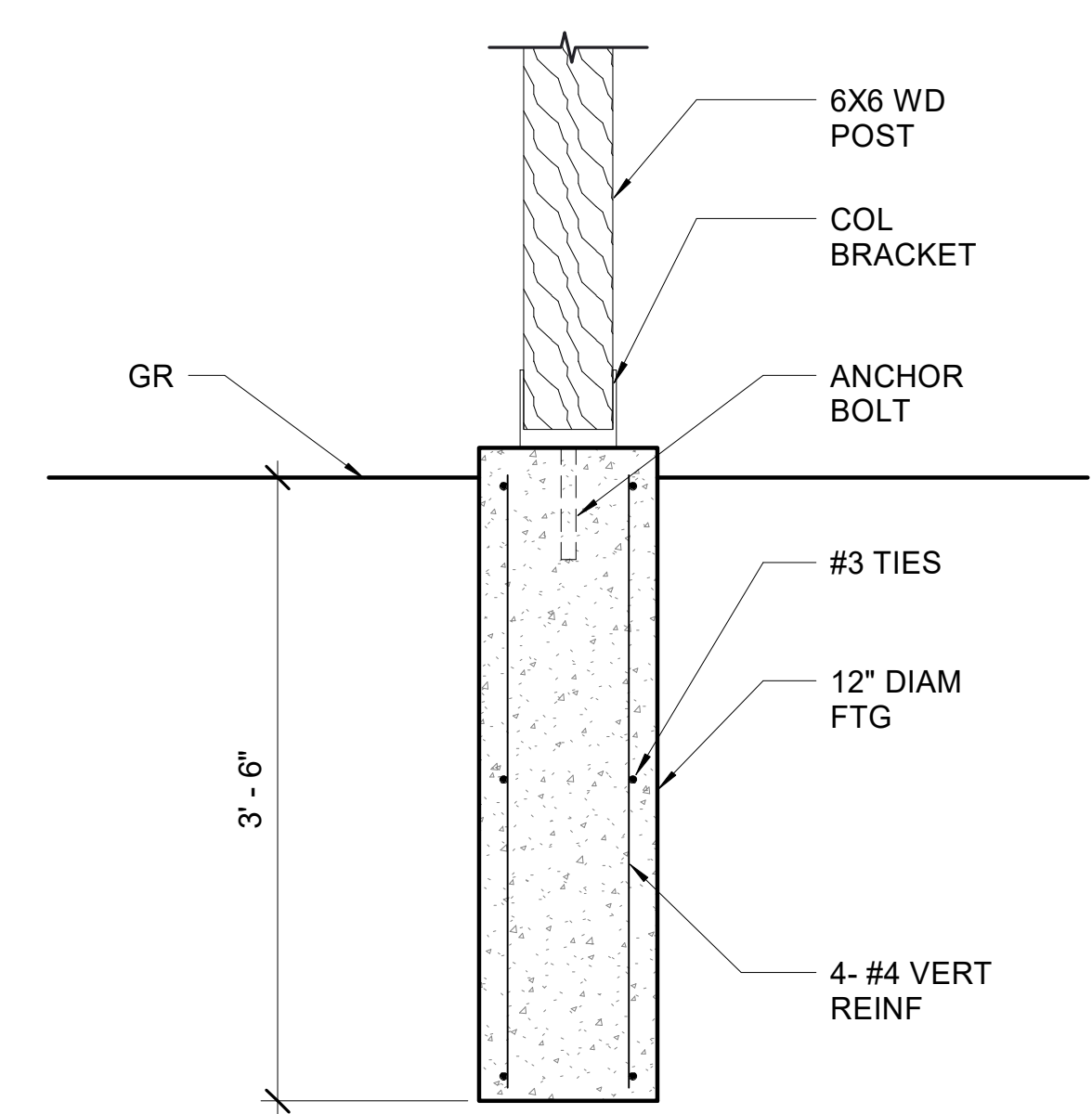


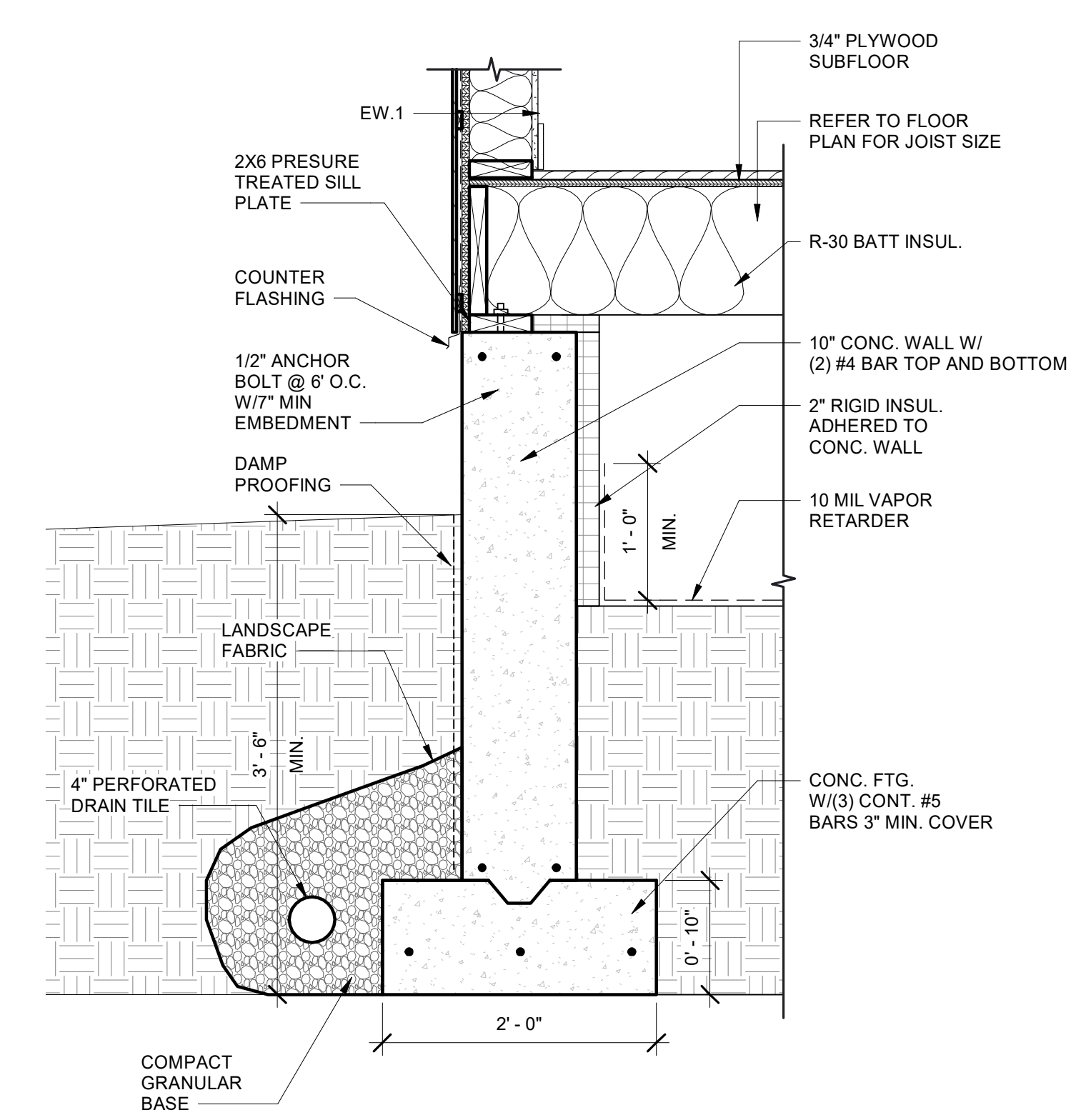
Table 5. Fastener Spacing for a Southern Pine, Douglas Fir-Larch, or Hem-Fir Deck Ledger or Band or Rim Joist and a 2-inch Nominal Solid-Sawn Spruce-Pine-Fir Band Joist or LVL Rim Joist.^{3,4,5,6,8}
(Deck Live Load = 40 psf, Deck Dead Load = 10 psf)

Connection Details	Rim Joist or Band Joist	Joist Span						
		6'-0" and less	6'-1" to 8'-0"	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"
1/2" diameter lag screw with 1/2" maximum sheathing	1" LVL	24"	18"	14"	12"	10"	9"	8"
	1-1/2" Lumber	28"	21"	16"	14"	12"	10"	9"
1/2" diameter bolt with 1/2" maximum sheathing	1" LVL	24"	18"	14"	12"	10"	9"	8"
	1-1/2" Lumber	28"	21"	16"	14"	12"	10"	9"
1/2" diameter bolt with 1/2" maximum sheathing and 1/2" stacked washers	1-1/2" Lumber	36"	36"	29"	24"	21"	18"	16"

3 LEDGER CONNECTION DETAIL
A.101 SCALE: 1 1/2" = 1'-0"



2 CYLINDRICAL POST FOUNDATION DETAIL
A.202 SCALE: 1" = 1'-0"



1 FOUNDATION DETAIL
A.101 SCALE: 1" = 1'-0"

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23

STAMP:

DRAWING INDEX

G.001	COVER SHEET
G.002	GEN. NOTES & SYMBOLS
A.101	EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
A.102	PROPOSED 1ST FLOOR AND ROOF PLANS
A.201	BUILDING ELEVATIONS
A.202	BUILDING ELEVATIONS
A.400	TYPICAL DETAILS
H.100	HVAC FLOOR PLANS
E.101	1ST FLOOR ELECTRICAL PLAN

SHEET TITLE:
TYPICAL DETAILS

SCALE: As indicated
DATE: 01/23/23

A.400

ELECTRICAL NOTES:
2002 ELECTRICAL CODE
 ALL ELECTRICAL WORK SHALL CONFORM TO THE FOLLOWING CODES AND ORDINANCES OF THE VILLAGE OF GILBERTS ILLINOIS:
 NATIONAL ELECTRICAL CODE NEC 2002, NFPA 70
 GENERAL ELECTRICAL NOTES
 SCOPE
 ALL WORK TO BE COMPLETED UNDER THIS PHASE IS SUBJECT TO THE DESIGNFIRST CONSTRUCTION CONTRACT SPECIFICATIONS.
 1. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH ALL THE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND HEALTH REGULATIONS SPECIFICALLY THE CHICAGO BUILDING CODE (WITH AMENDMENTS).
 2. ELECTRICAL CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SHALL VERIFY EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING BID. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. NO EXTRA COST WILL BE AUTHORIZED FOR FAILURE TO VERIFY ANY EXISTING CONDITIONS PRIOR TO BID.
 3. ENTIRE INSTALLATION SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL; ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT. START, ADJUST, AND CHECK PROPER OPERATION OF ALL SPECIFIED EQUIPMENT UNDER THIS CONTRACT. IN THE BID INCLUDE THE COST OF 1 YEAR WARRANTY SERVICE FOR ALL EQUIPMENT FROM DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
 4. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID OMISSIONS, INTERFERENCE, AND PRESERVE MAXIMUM HEADROOM. ALL WORK SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF THE ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND REQUIRED INSPECTION FEES. ALL WORK SHALL MEET REQUIREMENTS OF LOCAL INSPECTION AUTHORITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED INSPECTIONS AND APPROVALS OF HIS WORK.
 5. ELECTRICAL LAYOUT IS SCHEMATIC AND WORK SHALL BE INSTALLED TO MEET FIELD CONDITIONS AND EQUIPMENT SELECTED. PROVIDE SHOP DRAWINGS AS REQUIRED AND VERIFY CORRECTNESS OF EQUIPMENT SPECIFICATIONS.
 6. CONDUIT SHALL BE CONCEALED WHERE POSSIBLE; WHERE EXPOSED: RUN IN STRAIGHT LINES PARALLEL AND/OR PERPENDICULAR TO BUILDING CONSTRUCTION. CONDUITS INSTALLED IN SLAB ON GRADE, UNDERGROUND OR IN AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE RIGID GALVANIZED OR INTERMEDIATE METAL TYPE. MINIMUM CONDUIT SHALL BE 1/2" DIA.
 7. RECEPTACLES AND SWITCHES SHALL COMPLY WITH LOCAL CODES. VERIFY COLORS OF DEVICES WITH THE CONSTRUCTION SUPERINTENDENT. MOUNTING HEIGHTS SHALL BE AS FOLLOWS: SWITCHES @ 48" AFF, THERMOSTAT DIALS @ 58" AFF, OUTLETS @ 18" AFF.
 8. ALL MATERIALS SHALL BE NEW AND BEAR THE UL LABEL AND BE OF THE APPROPRIATE NFPA STANDARDS.
 9. CONTRACTOR TO PROVIDE PROPER FIRE-PROOFING OF ALL CONDUIT PENETRATIONS OF ALL FLOOR AND CEILING PLANES.
 10. IT IS INTENDED THAT THE EXISTING SYSTEM BE SHUT DOWN A MINIMUM TIME. SHUT DOWN SHALL BE COORDINATED WITH OWNER ON THE JOB SITE.

LIGHTING REQUIREMENTS:
 1. PROVIDE EXTERIOR DISCONNECT ON NEW ELECTRICAL SERVICE.
 2. RECESSED LIGHTS FOR INSULATED CEILINGS TO BE TYPE FOR DIRECT CONTACT WITH INSULATION
 3. ANY CEILING ELECTRIC BOX WHICH COULD BE USED FOR A CEILING FAN SHALL BE IDENTIFIED FOR CEILING FAN SUPPORT

SMOKE AND CARBON MONOXIDE ALARMS:
 1. ALL SMOKE ALARM SHALL BE HARDWIRED WITH 110 VOLTS AND INTERCONNECTED.
 2. INSTALL CARBON MONOXIDE DETECTORS ALL ROOMS WHERE GAS FIRED WATER HEATERS AND FURNACES ARE LOCATED.

RECEPTACLE REQUIREMENTS:
 1. IN ALL HABITABLE SPACE RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE.
 2. RECEPTACLE REQUIREMENTS IN COUNTER TOP LOCATIONS:
 2A. WALL-COUNTER SPACE - A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12 IN. OR WIDER.
 2B. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 12FT. MEASURED HORIZONTALLY FROM RECEPTACLE
 3. ALL ELECTRICAL DEVICES SHALL BE PLACED OR EQUIPPED TO PREVENT MOISTURE ACCUMULATION.
 4. ALL RECEPTACLES INSIDE AREAS WITH PROXIMITY TO WET CONDITIONS OR EXTERIOR ARE TO BE GFI TYPE.

PUB 72 FIRST FLOOR ADDITION
 THIRD FLOOR ADDITION TO AN EXISTING TWO STORY BRICK BUILDING
 THOMAS R. TRIER
 32 E. HIGGINS RD
 GILBERTS, IL 60136

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23

STAMP:

DRAWING INDEX

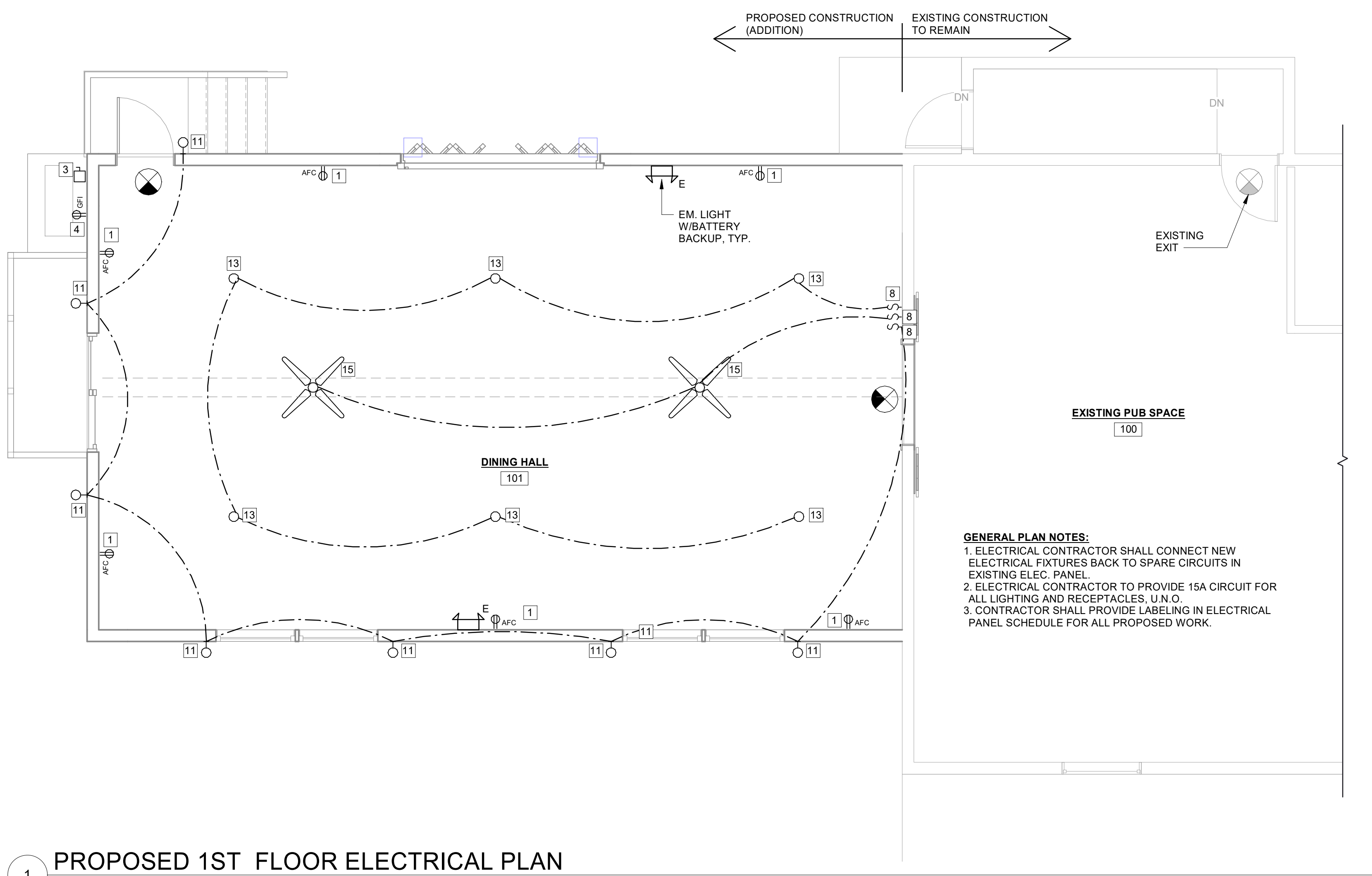
G.001	COVER SHEET
G.002	GEN. NOTES & SYMBOLS
A.101	EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
A.102	PROPOSED 1ST FLOOR AND ROOF PLANS
A.201	BUILDING ELEVATIONS
A.202	BUILDING ELEVATIONS
A.400	TYPICAL DETAILS
H.100	HVAC FLOOR PLANS
E.101	1ST FLOOR ELECTRICAL PLAN

SHEET TITLE:
1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"
 DATE: 01/23/23



PROPOSED 1ST LEVEL - ELECTRICAL SCHEDULE			
TAG	TYPE	QTY	REMARKS
1	ARC FAULT CIRCUIT OUTLET	6	
3	DISCONNECT SWITCH	1	
4	GFI OUTLET	1	
8	SINGLE SWITCH	3	
11	WALL SCONCE	7	
13	RECESSED CAN	6	
15	CEILING FAN	2	



GENERAL PLAN NOTES:
 1. ELECTRICAL CONTRACTOR SHALL CONNECT NEW ELECTRICAL FIXTURES BACK TO SPARE CIRCUITS IN EXISTING ELEC. PANEL.
 2. ELECTRICAL CONTRACTOR TO PROVIDE 15A CIRCUIT FOR ALL LIGHTING AND RECEPTACLES, U.N.O.
 3. CONTRACTOR SHALL PROVIDE LABELING IN ELECTRICAL PANEL SCHEDULE FOR ALL PROPOSED WORK.

1 PROPOSED 1ST FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

PUB 72 FIRST FLOOR ADDITION

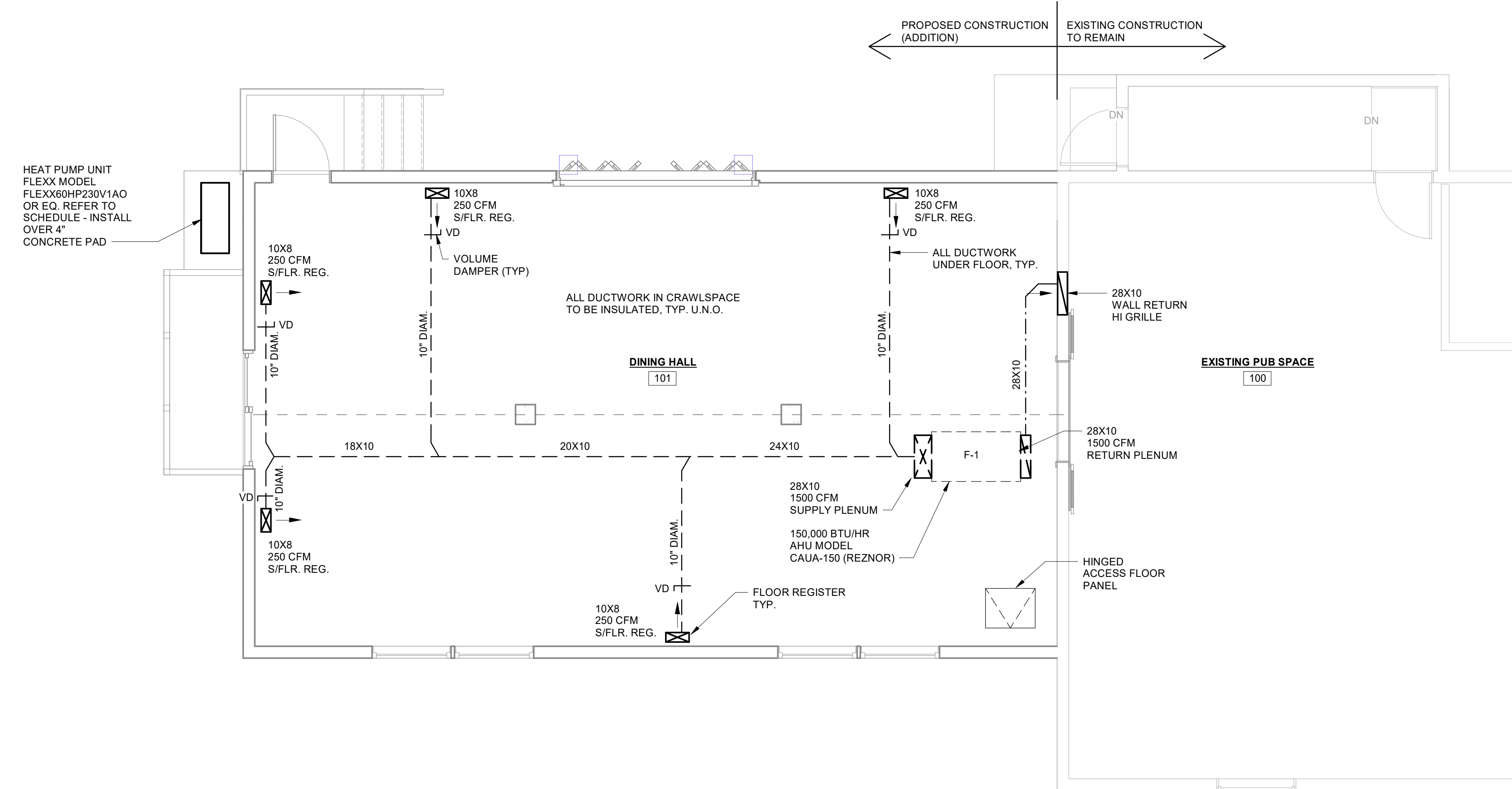
THIRD FLOOR ADDITION TO AN EXISTING TWO STORY BRICK BUILDING

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

OUTDOOR UNIT		FLEXX60HP230V1A0	
Compressor Type		Inverter Rotary	
Compressor RLA	amps	19	
Fan Motor Output Power (2)	W	149 Ea	
Fan Motor (2)	amps	1.5 Ea	
Sound Pressure Level (Cooling / Heating)	dB(A)	58	
Unit Dimension (WxHxD)	in	39 3/8 x 53 5/8 x 14 1/2	
Package Dimension (WxHxD)	in	45 7/16 x 59 1/4 x 19 7/16	
Weight (Net / Gross)	lbs	308 / 337	
Refrigerant Charge - R410A	oz	220.5	
Coil Type (Blue Fin)		Copper Tube / Aluminum Fin	
REFRIGERANT PIPING			
Line Set Size (Liquid - Gas)	in	3/8 - 3/4	
Pre-Charge Length	ft	31	
Additional Charge	oz/ft	0.32	
Pipe Length (Min - Max)	ft	10 - 98	
Max. Pipe Elevation	ft	49	
ELECTRICAL			
Power Supply (Voltage Operating Range)		208/230V / 1Ph / 60 Hz	
Outdoor	Rated Current (Cooling / Heating)	amps	30 / 31
Unit	MCA / MOCP	amps	35 / 45
Indoor	Rated Current (Cooling / Heating)	amps	5 / 5
Unit	MCA / MOCP	amps	8 / 15
Main Power Wire Size	AWG	Size Per Local Code	
LIMITED WARRANTY 5 Year Parts, 7 Years Compressor - Residential & Commercial			

Unit Tag	Supply Fan			Cooling Type	Cooling				Fuel Type	Heating			Power			
	Supply Airflow (SCFM)	Min OA (SCFM)	ESP (in wc)		Capacity		Summer			Winter			Voltage (V#/Hz)	FLA (A)	MCA (A)	MOP (A)
					Total (MBH)	Sensible (MBH)	EAT DB/WB (°F)	LAT DB/WB (°F)		Output Dsgn/Max (MBH)	EAT (°F)	LAT (°F)				
CAUA-150 /	2000	400	0.750	DX	55	38.5	80 / 67	55 / 54	Natural	60.0 / 120.0	50.0	77.8	230 / 1 / 60	8.49	10.61	P

2012 INTERNATIONAL MECHANICAL CODE - VENTILATION CALCULATION													
ROOM NAME	AREA (SF)	OCCUPANCY CLASS.	DEFAULT OCCUPANCY (QTY/1000 SF)	CALCULATED OCCUPANCY (PEOPLE)	Rp VENT RATE (CFM/P)	Vbzp (CFM)	Ra VENT RATE (CFM/SF)	Vbza (CFM)	Vbz BREATHING ZONE OUTDOOR AIRFLOW (CFM)	Ez ZONE AIR DISTRIBUTION EFFECTIVENESS	Voz ZONE OUTDOOR AIRFLOW (CFM)	EXHAUST RATE (CFM)	
RECEPTION AREA	949	DINING ROOMS	70	64	7.5	10	0.18	170.82	650.82	0.8	813.525		
TOTALS				64		10		170.82	650.82		813.53		



1 PROPOSED 1ST HVAC PLAN
SCALE: 1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PERMIT	01/23/23

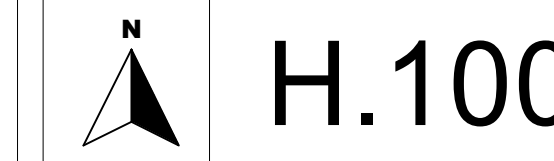
STAMP:

DRAWING INDEX

G.001	COVER SHEET
G.002	GEN. NOTES & SYMBOLS
A.101	EXISTING FIRST FLOOR DEMO AND PROPOSED FOUNDATION PLANS
A.102	PROPOSED 1ST FLOOR AND ROOF PLANS
A.201	BUILDING ELEVATIONS
A.202	BUILDING ELEVATIONS
A.400	TYPICAL DETAILS
H.100	HVAC FLOOR PLANS
E.101	1ST FLOOR ELECTRICAL PLAN

SHEET TITLE:
HVAC FLOOR PLANS

SCALE: 1/4" = 1'-0"
DATE: 01/23/23



PUB 72 FIRST FLOOR ADDITION
FIRST FLOOR ADDITION TO EXISTING PUB AND GRILL

THOMAS R. TRIER
32 E. HIGGINS RD
GILBERTS, IL 60136

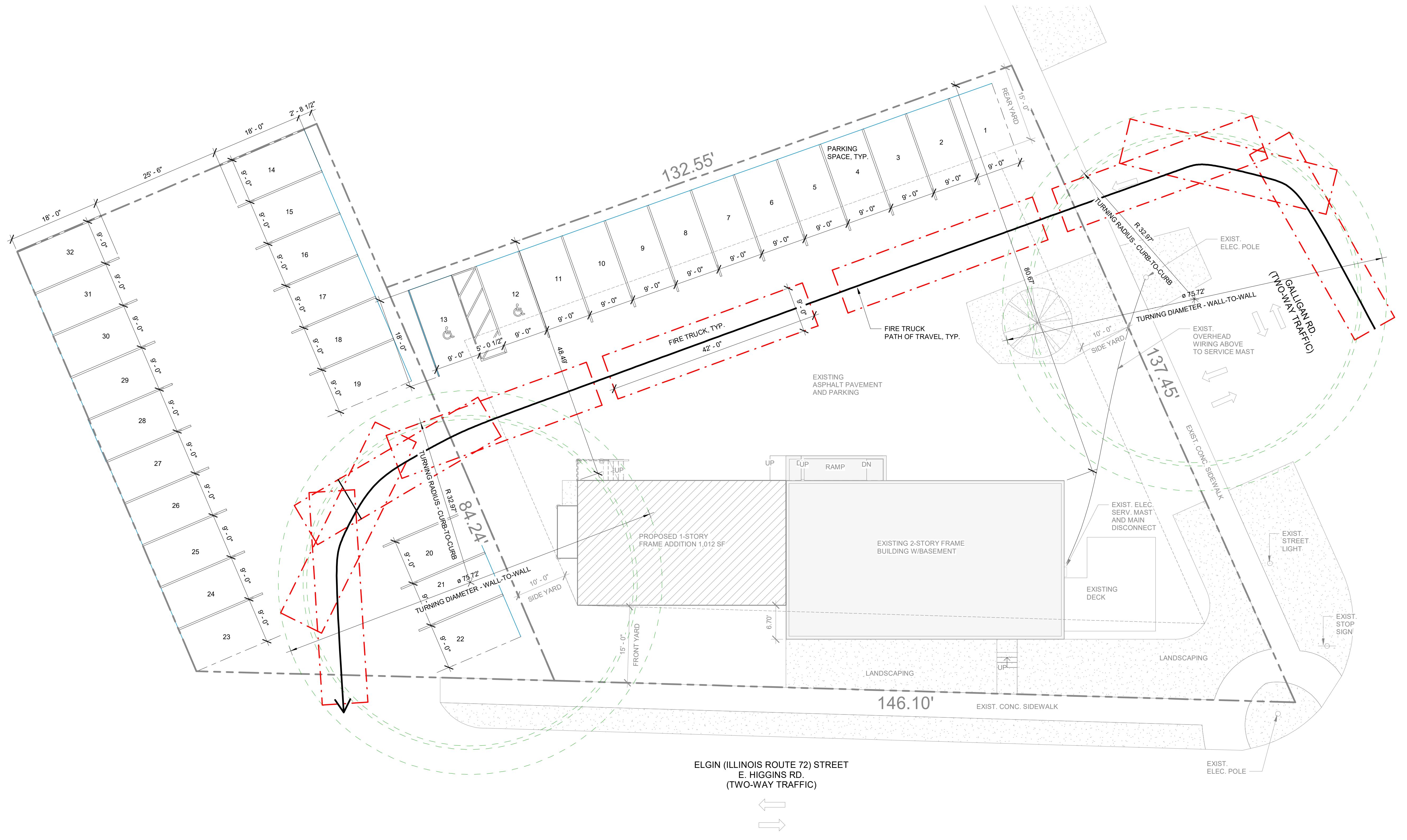
No.	Description	Date

STAMP:

DRAWING INDEX

SHEET TITLE:
**PROPOSED
PARKING & FIRE
TRUCK PATH
DIAGRAM**

SCALE: 1" = 10'-0"
DATE: 03/12/23



1 SITE PLAN - FIRE TRUCK PATH DIARGAM
SCALE: 1" = 10'-0"



Village of Gilberts

Village Hall
87 Galligan Road, Gilberts, Illinois 60136
Ph. 847-428-2861 Fax: 847-428-2955
www.villageofgilberts.com

To: Plan Commission
From: Riley Lynch, Management Analyst
Cc: Brian Bourdeau, Village Administrator
Date: April 12, 2023 Plan Commission Meeting
Re: Item 7 – Consideration and Recommendation to the Village Board of Trustees Regarding a Special Use Permit for Outdoor Dining and for Variances Related to a Wall Sign at Cruisin’.

Summary:

D.R.D Bar & Eatery, INC (Cruisin’) is requesting: (1) a special use permit to have an outdoor seating area, (2) a variance to have a wall sign up to 180 square feet in area, (3) a variance to allow a wall sign to have a background that is not the wall, (4) and a variance to allow a wall sign to go above the parapet line of the wall to which it is affixed.

Background:

D.R.D. Bar & Eatery, INC (“*Applicant*”) operates the restaurant Cruisin’ located at 11 Galligan Road (PIN: 02-24-155-002). The property is primarily used for the restaurant, but it also contains 2 legal non-conforming residential dwelling units on the second floor.

The property is located within a C-1 Commercial District. To the north is another commercially zoned property and beyond that are residences part of Old Town and Town Square Park. To the east is the commercial property owned by Red Barn Holdings LLC. To the south across Route 72 are I-1 industrial properties home to multiple businesses. To the west across Galligan Road is Pub 72 and more residences within the Old Town district.



Figure 1 - GIS Snapshot of Cruisin’

The Applicant is looking to install a 39’ by 17’ patio on the south western portion of the building for the purposes of providing an outdoor dining area. This area will be accessible through the inside of the restaurant via new sliding doors that were recently installed. The patio will take up the space of 4 existing parking spaces which means there will be a total of 53 parking spaces for all uses on the property.

The Applicant is also looking to install a new wall sign on the southernmost wall of the building. The sign is to be 41 feet long and about 4 feet tall for a total area of 180 square feet. The sign is to white lettering upon a black decorative background. A portion of the sign is intended to protrude above the roofline of the building. See figure 2 and attached exhibit for more information.



Figure 2 - Patio Design Render

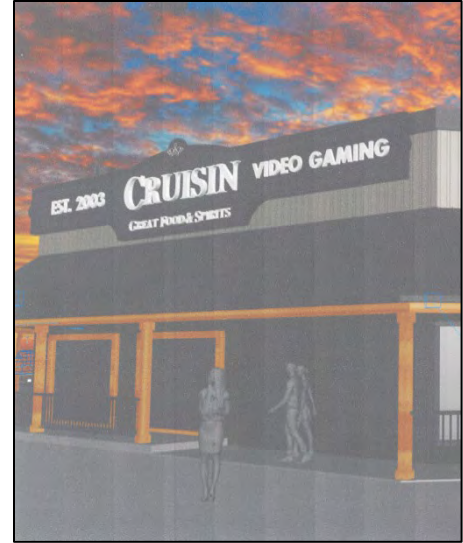


Figure 3 - Wall Sign Design Render

Special Use Permit and Variance Requests:

4-3-2(e) of the Village's Unified Development Ordinance (UDO) specifies that permanent outdoor seating areas accessory to restaurants require a special use permit in C-1 commercial districts. Therefore, the Applicant is requesting a special use permit to construct their patio and use it as an outdoor dining area. Note that to serve alcohol and food outside to this patio area, the Applicant will be required to have a Class OS Liquor License and to comply with the restrictions as part of that license. 3-2-7(H) of the Village Code details these restrictions. A few key restrictions to keep in mind for this request are:

- Outdoor alcohol consumption may only occur within a secured area, with access to the serving area strictly controlled through the principal structure for which a valid Class A, B or F license has been issued.
- The outdoor seating area shall be enclosed by a wooden or wrought iron (or similarly appearing) fence that is at least 50 percent open and does not exceed three feet in height, unless otherwise required to comply with applicable Building or Life Safety Codes. The fence shall match the color and appearance of the principal structure.
- The outdoor seating area shall be used for seated food and beverage service only; it shall not be used for private parties or special events, nor shall it function as an enclosed beer garden where only liquor is principally served.
- Use of the outdoor seating area shall be limited to between 10:00 a.m. and 10:00 p.m. daily, subject to further restriction by any applicable requirements associated with the prerequisite Class A, B or F license or liquor licenses in general.
- Use of the outdoor seating area shall comply with the noise ordinance (title 4, chapter 6 of this Code) and subsection 3-2-16A of this chapter. No outdoor music, amplified sound, live performances or other noise or vibration generating activities shall be permitted within or directed at the outdoor seating area.

- No smoking shall be permitted in the outdoor seating area, which shall be treated as an extension of the restaurant's/bar's public serving area.
- Any lighting and landscaping of the outdoor seating area shall comply with the Village's unified development ordinance unless otherwise expressly provided in a PUD, special use, variance or other zoning approval ordinance.
- All alcohol shall be dispensed from within the principal structure/establishment. No bar may be set up or operated within the outdoor seating area.

9-2(L)(1)(a) of the UDO specifies that commercial wall signs on a building with a setback less than 100 feet cannot be larger than 80 square feet in area. Additionally, the same section specifies that wall signs can only contain individual lettering or symbols without a background. Furthermore, it specifies that these wall signs cannot project higher than 20 feet or project higher than the parapet line of the wall to which the sign is attached. To install the sign as the Applicant has designed, they are seeking variances from these provisions of the UDO to allow the sign to be 180 square feet in surface area, to allow the sign to have lettering with a decorative background, and to allow the sign to slightly rise above the parapet line of the wall to which it would be affixed.

Note that even with the patio and reduction in parking spaces, the property would have enough spaces to satisfy the UDO's parking requirements for both the restaurant uses and the residential uses. Therefore, the Applicant is not seeking a variance from parking regulations.

Points for Discussion:

In considering the Applicant's request for a special use permit, the Plan Commission should review the standards for variations as outlined in Section 11-11(F) of the UDO:

Special Use Standards

- a. The proposed special use complies with all provisions of the applicable district regulations.*
- b. The proposed special use will not be unreasonably detrimental to the value of other property in the neighborhood in which it is to be located or to the public welfare at large.*
- c. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations. In determining whether the special use will so dominate the immediate neighborhood, consideration shall be given to:*
 - i. The location, nature and height of buildings, structures, walls and fences on the site; and*

- ii. *The nature and extent of proposed landscaping and screening on the proposed site.*
- d. *Adequate utility, drainage and other such necessary facilities have been or will be provided.*
- e. *The proposed special use, where such developments and uses are deemed consistent with good planning practice, can be operated in a manner that is not detrimental to the permitted developments and uses in the district; can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area; shall in all other respects conform to the applicable regulations of the district in which it is located; and is deemed essential or desirable to preserve and promote the public health, safety and general welfare of the Village of Gilberts.*

See Exhibit 2 for the Applicant's response to these standards

In considering the Applicant's request for variances, the Plan Commission should review the standards for variations as outlined in Section 11-10(F) of the UDO:

Standards for Variations

1. *General Standard. No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty.*
2. *Supplemental Standards. In considering proposed variations to this code, the Board of Appeals will consider whether the proposed variation will:*
 - a. *Impair an adequate supply of light and air to adjacent property.*
 - b. *Unreasonable increase the congestion in public streets.*
 - c. *Increase the danger of fire or endanger the public safety.*
 - d. *Unreasonably diminish or impair established property values within the surrounding area.*
 - e. *In any other respects impair the public health, safety, or welfare of the inhabitants of the village.*
3. *Findings of Fact. Upon review of the application and information presented at the public hearing, the Board of Appeals shall consider and adopt findings of fact sustaining each of the following criteria which are consistent with the rules provided to govern determinations of the Board of Appeals as referenced by state statute.*
 - a. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district.*
 - b. *The extraordinary or exceptional conditions of the property requiring the request for the variance were not caused by the applicant.*

- c. *The proposed variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship.*
- d. *The denial of the proposed variance will deprive the applicant the use permitted to be made by the owners of property in the immediate area.*
- e. *The proposed variance will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested.*
- f. *There is no other means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.*

Attachments:

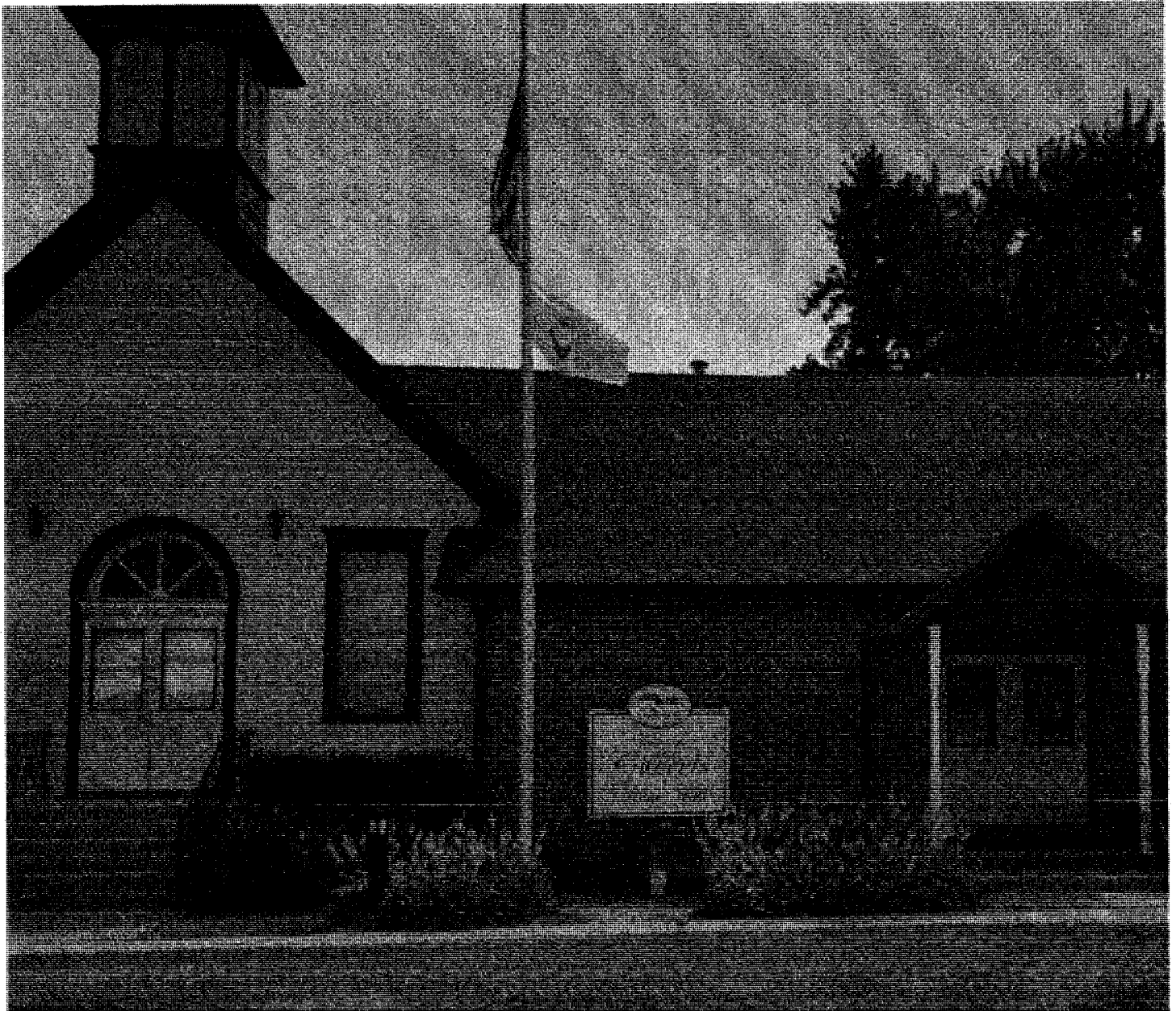
- Exhibit 1 – Notice of Public Hearing
- Exhibit 2 – Application for a Special Use & Variance
- Exhibit 3 – 11 Galligan Road Plat of Survey
- Exhibit 4 – Proposed Patio Designs
- Exhibit 5 – Proposed Wall Sign Design

**VILLAGE OF GILBERTS
PUBLIC NOTICE REGARDING A HEARING ON A SPECIAL USE PERMIT AND
VARIANCE APPLICATION**

PUBLIC NOTICE IS HEREBY GIVEN that the Gilberts Plan Commission will conduct a public hearing on Wednesday, April 12, 2023, at 7:00 p.m. at the Gilberts Village Hall, 87 Galligan Road, Gilberts, Illinois, to consider an application from D.R.D. Bar & Eatery, Inc. (“Applicant”) concerning the property located at 11 Galligan Road, Gilberts, Illinois, and identified by PIN 02-24-155-002 (“Property”). The Applicant requests approval of (1) variances from Section 9-2 of the Gilberts Unified Development Ordinance (UDO) to allow for a wall sign to exceed the height and size requirements and to include a background; and (2) approval of a special use permit for the Property to allow for the operation of a permanent outdoor seating area accessory to a restaurant, and for such other and further zoning relief as may be required.

All persons interested in the special use and variance application should attend and will be given an opportunity to provide written and oral testimony. Members of the public can also submit written comments via email at info@villageofgilberts.com. Additional information about the special use and variance application and the public hearing are available from the Village of Gilberts at (847) 428-2861. The public hearing may be continued from time to time without further public notice.

Gilberts Plan Commission
Village of Gilberts



The Village of Gilberts

APPLICATION FOR DEVELOPMENT AND ZONING APPROVALS

Last Updated: August 2021

Table of Contents

Application for Zoning and Development Approvals.....	2
For Reference	2
Definitions	2
Development Review Process	3
Zoning and Development Application Fees	4
Application for Development Approval	5
Exhibit 1: Site Plan Review	10
Exhibit 2: Special Use Permit	15
Exhibit 3: Variance Requests	17
Exhibit 4: Rezoning and Text Amendments	20
Exhibit 5: Zoning Appeals.....	22
Exhibit 6: Zoning Interpretations	23
Exhibit 7: Planned Unit Development.....	24
Exhibit 8: Temporary Uses	28
Supplemental Graphics	30

53 PARKING

Application for Zoning and Development Approvals

This Application is used to request development approval from the Village when consideration by the Gilberts Plan Commission and Zoning Board of Appeals, or Village Board is required. This application packet is available on the Village's website at <https://www.villageofgilberts.com>. Additional questions concerning this packet and requirements should be directed to Village Hall by email at info@villageofgilberts.com, or by phone at (847) 428-2861.

For Reference

- The Village's official zoning map can be found on the Village's website [here](#).
- Unless stated otherwise, items referring to the Village Code of Ordinances or Village Code refer to the most current code for the Village, available online [here](#).
- UDO - Unified Development Ordinance. Throughout this packet, Unified Development Ordinance may be abbreviated to "UDO." The UDO is found in Title 10 as a portion of the Village Code, although available as an additional document so that it may remain easily accessible. The UDO outlines limitations, regulations, requirements and other aspects pertaining to development, and is available online [here](#).
- When referring to the Village Code or UDO, chapters, titles, and sections may be abbreviated. For example, Title 1 Chapter 2 Section 3 would be abbreviated 1-2-3.

Definitions

As defined in the Village of Gilberts UDO. A full list of definitions can be found in the Village of Gilberts UDO, 10-13-13. Any definitions found elsewhere will have included reference or example.

- **Plan Commission:** The Planning Commission of the Village of Gilberts, Illinois. This appointed board of residents consisting of six members and one chairperson holds office for one-year terms and provides recommendation to the Village Board of Trustees on matters of planning, zoning, and development. (10-11-3 UDO)
- **Permitted Use:** Any use allowed in a zoning district and subject to the restrictions applicable to that zoning district.
- **Special Use Permit:** In addition to uses classified and permitted in each zoning districts, there are additional uses that may be desirable to allow, however due to unique requirements and impacts, additional consideration is required through this permitting process. (10-11-11 UDO)
- **Variance:** A request to deviate from certain zoning requirements in the case that practical difficulties or particular hardships require relief. (10-11-10 UDO)
- **Zoning District:** A specifically delineated land area within the Village of Gilberts, Illinois, as specified on the Zoning Map—included attached to the end of this packet—within which regulations and requirements govern the use, placement, spacing, and size of land and buildings.

Development Review Process

1. Pre-Application

Review the Village's Code and Unified Development Ordinance as it relates to your request. The Code and UDO is available online [here](#). ~~Depending on the request, you may wish to have a preliminary or concept meeting with staff.~~ These meetings are entirely optional, but encouraged to gain a better understanding of the request.

2. The Application

Complete the general Application for Development Approval and the exhibits relevant to your request. Submittal of the Application should include all materials and applicable fees required by this Application and the Village Code. This includes the required fees, escrow and agreement to reimburse the Village for its costs pursuant to Section 2-5-3 of the Village Code. Applications can be submitted to Village Hall at 87 Galligan Road, or electronically. Electronic submission can be sent through email to info@villageofgilberts.com if the submission is less than 10 MB, through a flash drive, or through an online document transfer site with a link that DOES NOT expire. ***Submittals will not be accepted or processed until all of the submittal requirements are met.***

3. Staff Review

Once a complete Application is submitted, the Village will forward it to the applicable Village departments and consultants for review and comment. The Village will send its review comments to the Primary Contact Person as identified in this application. Comments may necessitate revisions to plans prior to scheduling the project for a hearing or meeting with the Plan Commission, Zoning Board of Appeals, or Village Board

4. Notice Requirements and the Public Hearing

Depending on the type of approval sought, the applicant may have to notify the public before meeting with the Plan Commission. Public notice for a hearing must occur no more than 30 days and no less than 15 days in advance of the hearing date. Additionally, an applicant requesting relief that requires a public hearing must give notice of the hearing, no less than 10 days in advance of the hearing date, to owners of property within 250 feet of the subject property pursuant to Section 10-11-5C of the Village Code. Then a public hearing will be held concerning your request

5. Village Board Meeting

Following a public hearing and recommendation by the Plan Commission and/or the Zoning Board of Appeals, or as otherwise necessary, the project will be scheduled for Village Board consideration. Projects will not be included on a Village Board agenda until Village staff has determined that all plans are in technical compliance with all Village codes, rules, and policies.

Zoning and Development Application Fees

Below is a summary fee schedule of common fees required throughout the development process. Exact fees related to development may vary based on use or on zoning. For any questions on the fee schedule as related to zoning and development, please contact Village Hall at (847) 428-2861.

Zoning Fee Schedule - Village Code 2-4-13

<input type="checkbox"/> Site plan review (Variable Escrow)	\$5,000.00
<input type="checkbox"/> Appeals to zoning board	\$300.00
<input type="checkbox"/> Petitions to plan commission	\$50.00
<input type="checkbox"/> Zoning map amendments	\$100.00
▪ Plus \$20.00 per acre	
<input type="checkbox"/> Planned unit developments	\$100.00
▪ Plus \$20.00 per acre	
<input type="checkbox"/> Special use permits:	
<input type="checkbox"/> Home occupations	\$25.00
<input type="checkbox"/> All others	\$500.00
<input type="checkbox"/> Variations	\$500.00
<input type="checkbox"/> Continued, postponed and multiple meetings, per meeting	\$53.00

Petitioners seeking annexation agreements must contact the Village to determine applicable fees.

In addition to the filing fee set out in this section, each petitioner shall reimburse the village for the fees and costs incurred thereby for publication, consultant, legal, engineer, planning and architect fees incurred in relation to such petition or review.

The site plan review fee, specified above, shall be considered a deposit to establish an escrow toward the hourly fees incurred by the village in such review as otherwise stated above.

Application for Development Approval

Please complete this section before any other part of this packet.

Development name: Cruisin' Great Food & Spirits
Address of subject property: 11 Galligan Rd, Gilbert IL 60136
Parcel identification number (P.I.N.): 02-24-155-002

I. Applicant: Robert Lange (Cruisin') D.R.D. Bar & Eatery, INC.
Address: 11 Galligan Rd.
City: Gilbert State: IL Zip code: 60136
Phone: (847) 650-2832 Email: rlange58@aol.com

II. Property Owner(s): Joe Lazar
Address: 40W495 Prairie Ct
City: Hampshire State: IL Zip code: 60140
Phone: (847) 344-2070 Email: jopay/lazar@yahoo.com

III. Primary contact: Robert Lange
Check one that best applies:
 Owner Attorney Engineer Assistant Other: _____
Phone: (847) 650-2832 Email: rlange58@aol.com

IV. Other staff
Name: _____
 Owner Attorney Engineer Assistant Other: _____
Phone: _____ Email: _____
Name: _____
Check one that best applies:
 Owner Attorney Engineer Assistant Other: _____
Phone: _____ Email: _____

V. PROPOSED DEVELOPMENT

Check all that apply and provide written responses to corresponding exhibits on a separate sheet. If unsure contact Village Hall at 847-428-2861 or info@villageofgilberts.com.

- Site Plan Review**
(Complete Exhibit 1)
- Special Use** (New or Amendment)
(Complete Exhibit 2)
- Variance Request**
(Complete Exhibit 3)
- Rezoning or Text Amendment**
(Complete Exhibit 4)
- Subdivision (Please contact Staff)**
- Zoning Appeal**
(Complete Exhibit 5)
- Zoning Interpretation**
(Complete Exhibit 6)
- Planned Unit Development**
(Complete Exhibit 7)
- Temporary Use**
(Complete Exhibit 8)
- Other** (Please Specify _____)

Acreage of property:

Description of proposal/use (use a separate sheet if necessary):

patio for outside dining
sign for business on side of building. upper level (south side) of

VI. APPLICANT'S SIGNATURE

I, ROBERT LANGE [Applicant's Printed Name and Title], being duly sworn, declare that: i) I am duly authorized to make this Application for Development Approval on behalf of the Applicant; ii) I have read and understand this Application for Development Approval, and the Village of Gilberts UDO, available online [here](#).

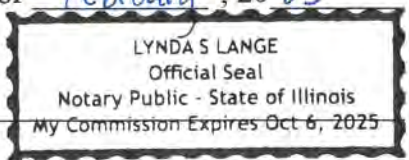
I have read, understand, and will comply by the provisions of the Village Code, found [here](#) online regarding reimbursement of the Village's costs; and iv) the above information, to the best of my knowledge, is true and accurate.

[Signature]
(Signature of Applicant or authorized agent)

2-5-23
(Date)

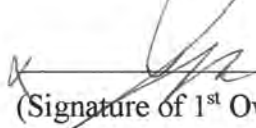
SUBSCRIBED AND SWORN TO before me this 26th day of February, 20 23

[Signature]
(Notary Public and Seal)



VII. OWNER'S AUTHORIZATION LETTER

I/we hereby certify that I/we am/are the owner(s) of the above-described Subject Property. I/we am/are respectfully requesting processing and approval of the request(s) referenced in this Application. I/we hereby authorize the Applicant listed on this Application to act on my/our behalf during the processing and presentation of this request(s).



(Signature of 1st Owner or authorized agent)

2/26/23

(Date)



(Signature of 2nd Owner or authorized agent)

2/26/23

(Date)

Joe Lazar


1st Owner's Printed Name and Title

Robert Lange

2nd Owner Printed Name and Title

****Please include additional pages if the Subject Property has more than two owners****

SUBSCRIBED AND SWORN TO before me this 26th day of February, 2023



(Notary Seal and Signature)



VIII. DISCLOSURE OF BENEFICIARIES

Name: D.R.D. Bar & Eatery, INC.

Address: 229 Garden Dr. Elgin IL

Nature of Benefit sought: Special Use Permit & Variance

Nature of Applicant: (please check one)

- Natural Person
- Corporation
- Land Trust/Trustee
- Trust/Trustee
- Partnership
- Joint Venture

If applicant is not an entity described above, briefly state the nature of the applicant(s):

In your answer above, if you checked box b, c, d, e or f. identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of C3Se of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

	<u>Name</u>	<u>Address</u>	<u>Interest</u>
a)	<u>Robert S. Lange</u>	<u>229 Garden Dr, Elgin IL</u>	<u>100%</u>
b)			
c)			
d)			

Name, address and capacity of person making this disclosure on behalf of the applicant:

Robert S. Lange, 229 Garden Dr, Elgin IL 60124 President

Important Note: In the event your answers above identify entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION

I, Robert S. Lange being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and Sworn to before me this 26th day of February, 2023.

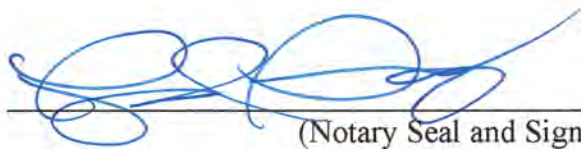

(Notary Seal and Signature)



Exhibit 2: Special Use Permit

A. Checklist of Required Submittals

- A plat of survey prepared by a registered land surveyor showing the location, boundary, and legal description of the property.
- A Site Plan in accordance with Exhibit 1 of this development packet.
- A narrative describing the proposed use.
- Additional information as required by the Village.

B.

Responses to Standards

1. **Special Use Standards (See 10-11-11-E of UDO)**

Please provide a written narrative that responds to the following standards below. Use the next page or another sheet of paper for your responses.

- (a) The proposed special use complies with all provisions of the applicable district regulations.
- (b) The proposed special use will not be unreasonably detrimental to the value of other property in the neighborhood in which it is to be located or to the public welfare at large.
- (c) The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations. In determining whether the special use will so dominate the immediate neighborhood, consideration shall be given to:
 - (1) The location, nature and height of buildings, structures, walls and fences on the site.
 - (2) The nature and extent of proposed landscaping and screening on the proposed site.
- (d) Adequate utility, drainage and other such necessary facilities have been or will be provided
- (e) The proposed special use, where such developments and uses are deemed consistent with good planning practice, can be operated in a manner that is not detrimental to the permitted developments and uses in the district; can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area; shall in all other respects conform to the applicable regulations of the district in which it is located; and is deemed essential or desirable to preserve and promote the public health, safety and general welfare of the Village of Gilberts.

2. **Special Standards (see 10-11-11-E-2 of UDO)**

When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the owner shall establish compliance with such special standards. These may not apply depending on which district the development takes place in.

Use this page or another sheet of paper for your responses to the Special Use Standards.

- a. special use complies with all provisions of applicable district regulations
- b. proposed special use will not unreasonably be detrimental to the value of other property in the neighborhood
- c. The location, size of the special use, nature & intensity dominate any neighborhood or inhibit access, inhibit development of neighboring property —
- d. Not applicable to installation of sign or patio
- e. Yes, the proposed special use can be operated in a manner that is visually compatible with permitted uses and conform to applicable regulations

Exhibit 3: Variance Requests

A. Checklist of Required Submittals

- A site plan in accordance with Exhibit 1 of this development packet.
- Additional information may be required by the Village.

B. Variance Request Details

Please provide a written narrative that responds to the following standards below. Use the next page or another sheet of paper for your responses.

1. Indicate the section(s) of the code from which a variance is requested.

UDO 9-22

2. Statement regarding the request, giving distances and dimensions where appropriate.

Installation of sign - south side of building -
upper level under roof line

3. Description of conditions and/or hardship which justify the need for a variance.

There is no signage currently on the building - people
often mistake the restaurant as a bar - we need
to identify the building to potential customers

4. Date(s) of any previous application for a variance and the result of them.

N/A

5. Additional information as required by the Village.

ALAN J. COULSON, P.C.
PROFESSIONAL LAND SURVEYORS

Plat of Survey

OF PROPERTY DESCRIBED AS:
Lots 1 and 2 in Block 11 of Rollandville, in the Village of Calhoun, Kane County, Illinois

ALTA / ACSM LAND TITLE SURVEY

SEPTIC FOR SUBJECT PROPERTY
IS ON SEAWARD LOTS 2, 4, 10,
12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100

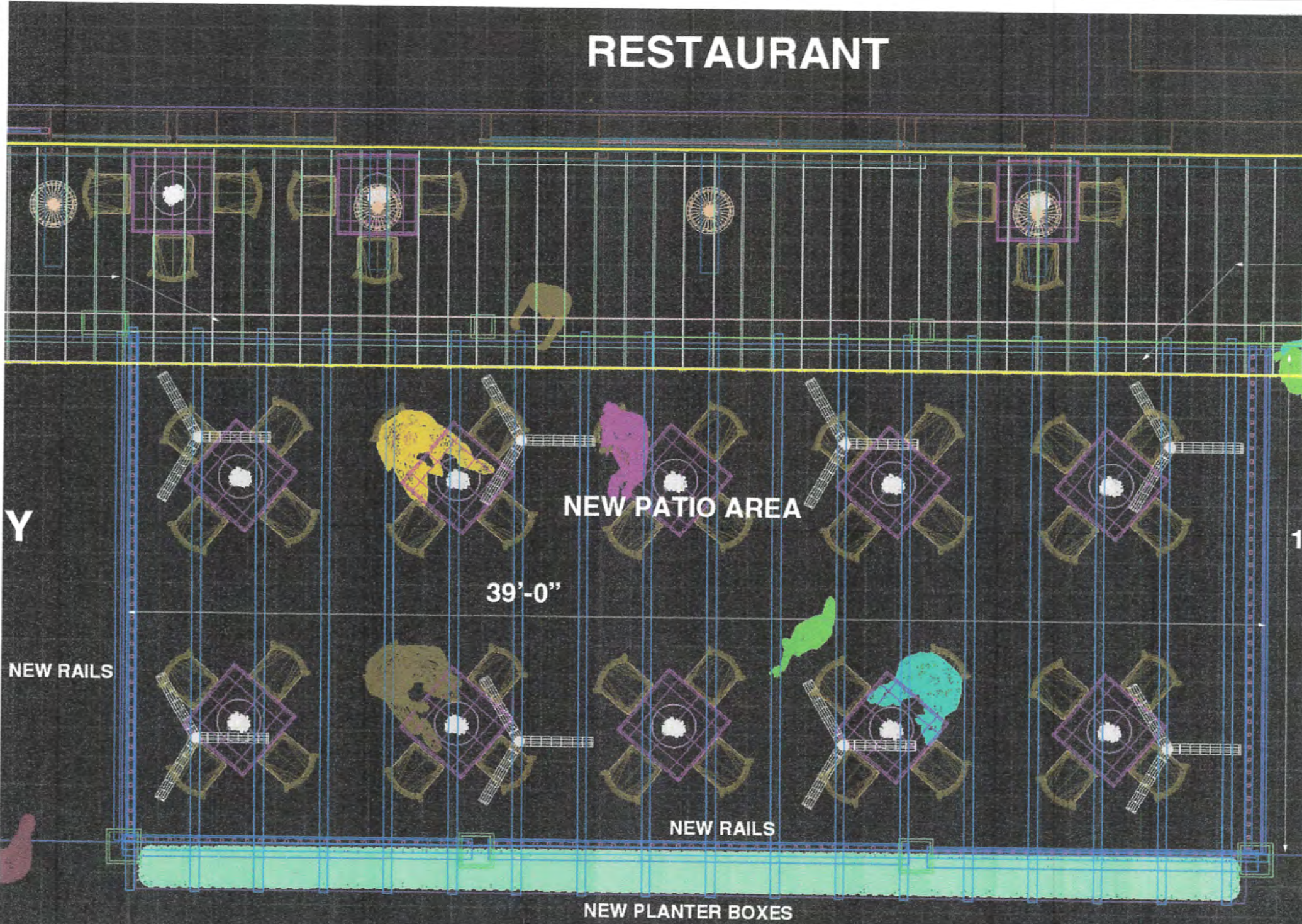








RESTAURANT



Y

NEW PATIO AREA

39'-0"

NEW RAILS

NEW RAILS

NEW PLANTER BOXES

OR PLAN: NEW PATIO ADDITION

RESTAURANT

SECONDARY
ENTRY

Group 057 Line 115

MAIN
ENTRY

NEW PATIO AREA

17'-0"

39'-0"

NEW CONCRETE
FLOOR TO MATCH
EXISTING CONCRETE
WALKWAY

NEW RAILS

NEW RAILS

NEW RAILS

NEW 12X12
WOOD POST SUPPORT

NEW PLANTER BOXES

WOOD BEAMS
FOR PERGOLA

FLOOR PLAN: NEW PATIO ADDITION



EST. 2003

CRUISIN

VIDEO GAMING

GREAT FOOD & SPIRITS

EXTERIOR SIGN

EST. 2003

CRUISIN

GAME ROOM

GREAT FOOD & SPIRITS

