



## *Village of Gilberts*

Village Hall: 87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

### **VILLAGE BOARD MEETING AGENDA**

**Wednesday, July 5, 2023 - 7:00 p.m. - Village Hall Board Room**

#### **ORDER OF BUSINESS**

- 1. CALL TO ORDER / PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL / ESTABLISH QUORUM**
- 3. PUBLIC COMMENT\***
- 4. CONSENT AGENDA**
  - A. A Motion to approve Minutes from the June 20, 2023 Regular Village Board Meeting
  - B. A Motion to approve Bills & Payroll dated July 5, 2023
- 5. ITEMS FOR APPROVAL**
  - A. A Resolution Authorizing an Agreement with Copenhaver Construction Inc. for the Construction of Conservancy Public Park #1 in an amount not to exceed \$466,976.00 (Resolution 20-2023)
- 6. ITEMS FOR DISCUSSION**
- 7. STAFF REPORTS**
- 8. TRUSTEE REPORTS**
- 9. PRESIDENT'S REPORT**
- 10. EXECUTIVE SESSION**
- 11. ADJOURNMENT**

#### **\*Public Comment Policy**

Anyone indicating a desire to speak during Public Comments portion of the Village Board Meeting will be acknowledged by the Village President. All remarks are to be addressed to the Village President and Board of Trustees as a whole, not to any specific person(s). To ensure that everyone who wishes to speak has the opportunity to do so, please limit your comments to five minutes. Additional time may be granted at the discretion of the Village President. If you have written comments, please provide a copy to the Village President. If there are a number of individuals present to speak on the same topic, please designate a spokesperson that can summarize the issue. During Public Comments, the Village President, Trustees and Staff will listen to comments and will not engage in discussion. The Village President or Trustees may ask questions to better understand your concern, suggestion or request. Please direct any personnel concerns to the Village Administrator before or after the meeting. The Village of Gilberts complies with the Americans Disabilities Act (ADA). For accessibility Assistance, please contact the Village Clerk at the Village Hall, telephone number is 847-428-2861". Assistive services will be provided upon request.

*Posted on June 30, 2023 at:*

*Village of Gilberts, 87 Galligan Road, Gilberts, IL 60136*



**VILLAGE OF GILBERTS  
VILLAGE BOARD MEETING MINUTES  
TUESDAY, JUNE 20, 2023  
Village Hall: 87 Galligan Road, Gilberts, IL 60136**

**1. CALL TO ORDER / PLEDGE OF ALLEGIANCE**

President Zambetti called the meeting to order at 7:00 p.m. He proceeded to lead those present in the Pledge of Allegiance.

**2. ROLL CALL / ESTABLISH QUORUM**

Village Administrator Brian Bourdeau called roll. Roll call of Board members present: Trustees Chapman, Vanni, Allen, Coats, Redfield, and Marino were present, as was President Zambetti.

**3. PUBLIC COMMENT – None.**

**4. APPOINTMENTS**

A. Appointment of Victoria Szlag as Village Clerk for a term ending April 30, 2025

President Zambetti asked for the Board's concurrence on his recommendation.

*A Motion to concur with President Zambetti's recommendation of appointment was made by Trustee Allen and seconded by Trustee Redfield. Roll call votes - Aye: (6) Trustees Vanni, Coats, Redfield, Marino, Allen, and Chapman / Nay: 0 / Absent: 0 / Abstained: 0*

Victoria Szlag was subsequently sworn in as the Village Clerk.

**5. CONSENT AGENDA**

A. A Motion to approve Minutes from the May 16, 2023 Regular Village Board Meeting

B. A Motion to approve Minutes from the June 6, 2023 Regular Village Board Meeting

C. A Motion to approve Bills & Payroll dated June 20, 2023

D. A Motion to approve the May 2023 Treasurer's Report

President Zambetti asked if any Board wished to remove an item from the Consent Agenda. No removals were requested.

*A Motion to Approve Consent Agenda items 4.A-D as presented was made by Trustee Vanni and seconded by Trustee Chapman. Roll call votes - Aye: (6) Trustees Vanni, Coats, Redfield, Marino, Allen, and Chapman / Nay: 0 / Absent: 0 / Abstained: 0*

**6. ITEMS FOR APPROVAL**

A. A Resolution Approving a Residential Waste Disposal Agreement with RRD Holding Company (MDC) for a term of August 31, 2023 – August 31, 2028 (Resolution 19-2023)

Trustee Marino asked who the current waste hauling provider is. Administrator Bourdeau confirmed that MDC is the current provider already, and that collection dates and bulk pickup will remain unchanged. He also detailed that the rates for collection will be slightly lower than they are currently.

*A Motion to approve item 6.A as presented was made by Trustee Allen and seconded by Trustee Vanni. Roll call votes - Aye: (6) Trustees Vanni, Coats, Redfield, Marino, Allen, and Chapman / Nay: 0 /Absent: 0 /Abstained: 0*

B. An Ordinance Amending the Village Code Regarding Refuse Collection and Disposal Fees (Ordinance 11-2023)

Administrator Bourdeau noted that this is to establish the fee schedule for the new waste hauling contract.

*A Motion to approve item 6.B as presented was made by Trustee Allen and seconded by Trustee Coats. Roll call votes - Aye: (6) Trustees Vanni, Coats, Redfield, Marino, Allen, and Chapman / Nay: 0 /Absent: 0 /Abstained: 0*

C. A Motion to Approve a Hold Harmless “At-Risk” Construction Agreement Template for the Conservancy and Permit the Village Administrator to Administratively Process

Administrator Bourdeau explained that this a request from Conservancy Development LLC to allow the Village to issue building permits while the developer is in the process of getting FEMA approval. He detailed that this would hold the Village harmless in the event that the developer does not receive FEMA approvals. President Zambetti raised a concern about buyers and tenants facing issues should the developer does not receive FEMA approval. Trustee Vanni expressed similar concerns. Administrator Bourdeau explained certificates of occupancy will not be issued until FEMA approval, so future buyers will not be able to move in until that approval anyway. He then summarized that this approval would allow the developer to continue their work without putting the Village at risk.

*A Motion to approve item 6.B as presented was made by Trustee Redfield and seconded by Trustee Marino. Roll call votes - Aye: (6) Trustees Vanni, Coats, Redfield, Marino, Allen, and Chapman / Nay: 0 /Absent: 0 /Abstained: 0*

D. A Motion to Ratify the NIMEC Joint Bid Electrical Contract for Streetlighting Facilities Previously Authorized by Resolution 02-2023

Administrator Bourdeau briefly explained this item and how it is a ratification of a bid that was received for the cost of streetlight usage.

*A Motion to approve item 6.B as presented was made by Trustee Allen and seconded by Trustee Chapman. Roll call votes - Aye: (6) Trustees Vanni, Coats, Redfield, Marino, Allen, and Chapman / Nay: 0 /Absent: 0 /Abstained: 0*

**7. ITEMS FOR DISCUSSION**

- A. Presentation by the Northern Illinois Electric Collaborative (NIMEC) Regarding a Residential Electrical Aggregation Program

Adam Hoover of NIMEC gave a presentation detailing the history of NIMEC and their aggregation program. He detailed that the current rates of ComEd were competitive with the bids they received and he does not recommend a fixed rate through their program. He continued the presentation with educational material for the board.

**7. STAFF REPORTS –**

Administrator Bourdeau – Reported that the Conservancy Park project is currently out to bid and the opening is scheduled for next week Tuesday. He also reported that the Wiley and Union Street construction is set to advance in August. Additionally, the well 4 maintenance is progressing and the purchase of 55 Galligan will be finalized on the coming Friday.

**9. TRUSTEES’ REPORTS – None**

**10. PRESIDENT’S REPORT –**

President Zambetti reminded the Board that the next Meeting is on Wednesday July 5<sup>th</sup> due to the 4<sup>th</sup> of July falling on the Tuesday.

**11. EXECUTIVE SESSION - None.**

**12. ADJOURNMENT**

*There being no further public business to discuss, a motion to adjourn from the public meeting was made by Trustee Allen and seconded by Trustee Chapman at 7:47 p.m. Voice vote carried unanimously, Aye: (6) Trustees Vanni, Allen, Coats, Chapman, Redfield, and Marino / Nay: 0 / Absent: 0 / Abstained: 0*

Respectfully submitted,

*Riley Lynch*

Riley Lynch



Department: 00 GENERAL FUND

IPBC - INTERGOVERNMENTAL PERSONN	EMPLOYEE DENTAL CONTRIBUTION	1,430.49
IPBC - INTERGOVERNMENTAL PERSONN	EMPLOYEE VISION CONTRIBUTIONS	43.28
IPBC - INTERGOVERNMENTAL PERSONN	EMPLOYEE HEALTH INS. CONTRIBUT	22,920.06
IPBC - INTERGOVERNMENTAL PERSONN	EMPLOYEE LIFE INSURANCE	50.91
ROBINSON ENGINEERING, LTD.	ESCROWS PAYABLE	11,924.75
STEVEN ROLSETH	FEES-BUILDING PERMITS	6.00
Total: 00 GENERAL FUND		36,375.49

Department: 01 ADMINISTRATIVE

AT&T U-VERSE	COMMUNICATIONS	83.76
BENEFIT PLANNING CONSULTANTS,	GROUP HEALTH INS	100.00
IL DEPT OF EMPLOYMENT SECURITY	STATE UNEMPL TAX	504.02
ILLINOIS STATE POLICE	OPERATING EXPENSE	28.25
ILLINOIS TAX INCREMENT ASSOC.	REIMBURSED EXPENSES	550.00
PADDOCK PUBLICATIONS	LEGAL NOTICES	117.30
RICHARD SPINKER	CONTRACTUAL SERVICES	140.00
ROBINSON ENGINEERING, LTD.	ENGINEERING SERVICES	28,488.00
TESKA ASSOCIATES INC	VILLAGE PLANNER SERVICES	6,880.00
Total: 01 ADMINISTRATIVE		36,891.33

Department: 02 POLICE

ACTION AUTO WORKS INC	MAINTENANCE VEHICLES	765.94
MENARDS - CARPENTERSVILLE	COMMUNITY RELATIONS	36.93
MENARDS - CARPENTERSVILLE	TRAINING EXPENSE	48.31
RICHARD SPINKER	CONTRACTUAL SERVICES	315.00
VERIZON WIRELESS	COMMUNICATIONS	281.08
Total: 02 POLICE		1,447.26

Department: 03 PUBLIC WORKS

AEP ENERGY	STREETLIGHTING	1,135.51
BEAR AUTO GROUP	MAINTENANCE VEHICLES	45.69
BLAIN'S FARM & FLEET	SMALL TOOLS AND EQUIPMENT	947.00
CLARKE ENVIRONMENTAL MOSQUITO	CONTRACTUAL SERVICES	2,241.00
COMMONWEALTH EDISON	STREETLIGHTING	144.15
ED'S RENTAL AND SALES INC.	RENTAL-EQUIPMENT	723.15
MCCANN INDUSTRIES, INC.	MAINTENANCE VEHICLES	4,831.83
MENARDS - CARPENTERSVILLE	SMALL TOOLS AND EQUIPMENT	261.99
MENARDS - CARPENTERSVILLE	MAINTENANCE BUILDING	427.60
MICHALSEN OFFICE FURNITURE INC.	OPERATING EXPENSE	883.00
RICHARD SPINKER	CONTRACTUAL SERVICES	140.00
Total: 03 PUBLIC WORKS		11,780.92

Department: 04 BUILDING

ROBINSON ENGINEERING, LTD.	BUILDING PERMIT EXPENSE	3,649.00
Total: 04 BUILDING		3,649.00

Department: 06 PARKS

AEP ENERGY	UTILITIES	660.01
COMMONWEALTH EDISON	UTILITIES	30.00
MENARDS - CARPENTERSVILLE	MAINTENANCE EQUIPMENT	256.28
Total: 06 PARKS		946.29

Department: 10 WATER SYSTEMS

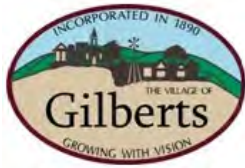
AEP ENERGY	UTILITIES	236.84
------------	-----------	--------

AQUA BACKFLOW, INC.	CONTRACTUAL SERVICES	10.00
COMMONWEALTH EDISON	UTILITIES	3,544.40
MARTY'S AUTOMOTIVE	MAINTENANCE VEHICLES	231.63
MENARDS - CARPENTERSVILLE	MAINTENANCE PARTS & MATERIALS	511.49
MIDWEST SALT	BRINE HAULING EXPENSES	5,931.90
NICOR	UTILITIES	51.43
PACE ANALYTICAL SERVICES	LABORATORY TESTING	244.40
ROBINSON ENGINEERING, LTD.	ENGINEERING SERVICES	644.00
THIRD MILLENNIUM ASSOCIATES	PRINTING	57.99
VIKING CHEMICAL COMPANY	CHEMICALS	10,020.86
Total: 10 WATER SYSTEMS		<u>21,484.94</u>

Department: 20 WASTEWATER SYSTEMS

MARTY'S AUTOMOTIVE	MAINTENANCE VEHICLES	231.63
MENARDS - CARPENTERSVILLE	MAINTENANCE PARTS & MATERIALS	80.10
NICOR	UTILITIES	453.19
PACE ANALYTICAL SERVICES	LABORATORY TESTING	1,783.30
THIRD MILLENNIUM ASSOCIATES	PRINTING	57.99
Total: 20 WASTEWATER SYSTEMS		<u>2,606.21</u>

\*\*\* GRAND TOTAL \*\*\* 115,181.44



## Village of Gilberts

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

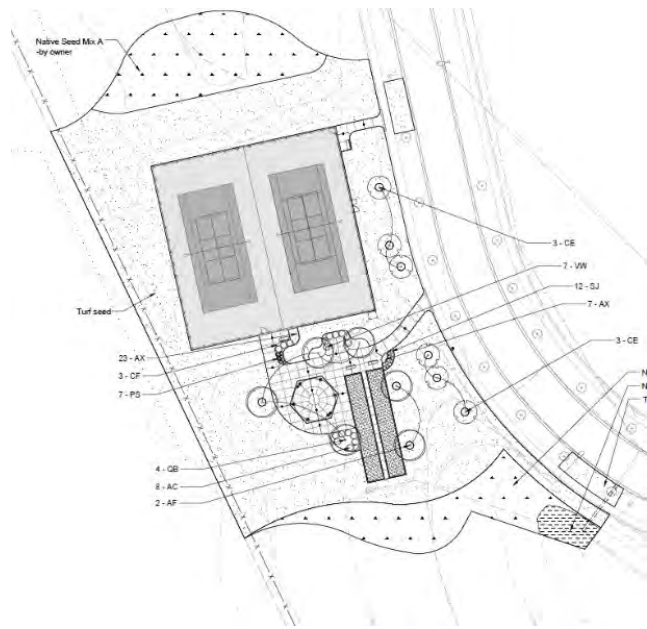
**To:** President Guy Zambetti and Board of Trustees  
**From:** Riley Lynch, Management Analyst  
Brian Bourdeau, Village Administrator  
**Date:** July 5, 2023 Village Board Meeting  
**Re:** Item 5.A: Approval of a Resolution Authorizing an Agreement with Copenhaver Construction INC for the Construction of Conservancy Public Park #1 in amount not to exceed \$466,976.00 (Resolution 20-2023).

---

### Background:

The First Amendment to the Conservancy Annexation Agreement requires a parkland dedication of 25 acres of useable parkland. Approximately 6.5 acres were dedicated for a park to be located on the south-western portion of the Conservancy development north of Freeman Road and in-between a Union Pacific railway to the west and Brielle Boulevard to the east. (PIN: 02-11-376-001). After prior discussions, at the April 18, 2023 Board Meeting the Board recommended moving forward with an option to include a pavilion and public area, 2 bocce ball courts, and 2 dual tennis/pickleball courts.

On February 7<sup>th</sup> 2023, the Board approved a professional engineering services proposal with Robinson Engineering for a “request for proposals” (RFP) preparation and construction oversight of this project. Since then, Robinson engaged with Hitchcock Design Group to help draft the RFP. The Village issued the RFP on June 13 and accepted bids until June 27, 2023.



### Analysis:

There were 2 bids submitted for this project. These bids are outlined in the attached bid tabulation sheet. The lowest responsive base bid came from Copenhaver Construction for a total of \$442,566. Hitchcock recommends including a \$24,410 or roughly 5.5% contingency of the construction costs as well. The proposed total would then be \$466,976.00 for this construction.

### Recommendation:

It is recommended that the board approve Resolution 20-2023 authorizing an agreement with Copenhaver Construction for the construction of Conservancy Park #1 in an amount not to exceed \$466,976.00.

**RESOLUTION 20-2023**

**VILLAGE OF GILBERTS**

**A RESOLUTION TO AUTHORIZE AN AGREEMENT WITH COPENHAVER  
CONSTRUCTION INC FOR THE CONSTRUCTION OF CONSERVANCY PUBLIC  
PARK #1 IN AN AMOUNT NOT TO EXCEED \$466,976.00**

**WHEREAS**, the Village of Gilberts (“Village”) owns, maintains, and operates multiple public parks; and

**WHEREAS**, 6.5 acres of land was conveyed to the Village as part of the Conservancy Annexation and Development Agreement for the purpose of establishing a public park; and

**WHEREAS**, sealed bids were solicited and opened at Village Hall at 10:01 a.m. on June 27, 2023; and

**WHEREAS**, the lowest responsive and responsible bid was received from Copenhaver Construction Inc.;

**Now, Be it Resolved by the President and Board of Trustees of the Village of Gilberts, Kane County, Illinois that:**

**Section 1.** **Recitals.** The recitals set forth above are hereby incorporated into and made a part of this Resolution as though set forth in this Section 1.

**Section 2.** **Approval; Authorization.** The Village Board of Trustees hereby authorizes the Village Administrator, upon receipt of all final contract documents to the satisfaction of the Village Administrator and Village Engineer, to execute the necessary documents with Copenhaver Construction Inc. for the construction of Conservancy Public Park #1 in a not to exceed amount of \$466,976.00, which includes contingency.

**Section 3.** **Effective Date.** This Resolution shall be in full force and effect after its approval in the manner provided by law.

**PASSED BY ROLL CALL VOTE OF THE BOARD OF TRUSTEES** of the Village of Gilberts, Kane County, Illinois, this 5<sup>th</sup> day of July, 2023.

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Robert Vanni	_____	_____	_____	_____
Trustee Robert Chapman	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Frank Marino	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

APPROVED THIS 5<sup>TH</sup> DAY OF July, 2023.

\_\_\_\_\_  
Guy Zambetti, Village President

(SEAL)  
ATTEST:

\_\_\_\_\_  
Village Clerk

Exhibit A  
Agreement

*(Attached Once Contract is Finalized and Executed)*

SECTION 000410 – BID FORM

CONTRACTOR: **COPENHAVER CONSTRUCTION, INC.**

**75 KOPPIE DRIVE**  
Street Address

**GILBERTS, IL 60136**  
City, State, Zip

**(847) 428-6696** Phone #      **(847) 428-6798** Fax #

TO: Village of Gilberts

PROJECT: Conservancy Park

Having read the Specifications and examined the Drawings entitled: Conservancy Park

Prepared by **Hitchcock Design Group** for the construction of said Project and having also received, read, and taken into account all ADDENDA thereto as follows: \*\* (LIST IN THE FOLLOWING SPACES, THE NUMBER OF AND DATE OF EACH ADDENDUM RECEIVED.)

ADDENDUM NOS.: **NONE**

and having inspected the site and the conditions affecting and governing the construction of the Project Work, the undersigned proposes to furnish all material and perform all labor, as specified and described in the Specifications and as shown in the Drawings, for the following stipulated lump sums:

(ENTER AMOUNTS FROM 000415-SCHEDULE OF VALUES – round base bid and alternate amounts to nearest whole dollar)

**BASE BID:**

TOTAL MATERIALS AND LABOR FOR THE SUM OF:

**Four Hundred Forty-Two Thousand Five Hundred**

\*\* **Sixty-Six** DOLLARS (\*\* \$ **442,566.00** )

**ALTERNATE #1: Stone Column Wraps**

TOTAL MATERIALS AND LABOR FOR THE SUM OF:

\*\* **Thirty-Two Thousand Six Hundred** DOLLARS (\*\* \$ **32,600.00** )

In submitting the bid, the undersigned agrees:

1. To enter into a lump sum Contract agreement with the Owner and to construct the work as drawn and specified for the stated lump sum amounts regardless of quantity discrepancies. No additional payments will be made due to quantity discrepancies.

2. To hold the bid open for 60 days after bid opening.
3. To enter into a Contract within 14 days of Notice of Award.
4. To furnish a Performance Bond and a Labor and Material Payment Bond for the full amount of the Contract in accordance with 000800-Supplementary Conditions, within 20 days of Contract Award.
5. To furnish evidence of insurance in accordance with 000800-Supplementary Conditions prior to signing the Contract.
6. To furnish a preliminary Construction Schedule in accordance with Section 001310-Project Management and Coordination prior to signing the Contract.
7. To forfeit the Bid Security to the Owner as payment of damages due to delay if the undersigned fails to execute a Contract as required.
8. To begin the work no later than the date specified in the Contract, and to substantially complete the work no later than October 16, 2023.

ACKNOWLEDGED AND AGREED TO:

By:

Authorized Signature / Title

**Ken Copenhaver - President**

Company:

**COPENHAVER CONSTRUCTION, INC.**

(SEAL - If by Corporation)



Subscribed and sworn to before me this

**27th** day of **June**, 2023

**Rosemary Simarano**

Notary Public

*Rosemary Simarano*

END OF SECTION 000410





SECTION 000415 - SCHEDULE OF VALUES

Date: **June 13, 2023**  
 RE: Conservancy Park

NOTES:

1. Bidder to complete Section 000415-Schedule of Values and enter total amount in appropriate space in Section 000410-Bid Form.
2. Bidder is responsible for performing all quantity take-offs necessary to complete the work as drawn and specified.
3. The successful bidder will be required to enter into a lump sum contract agreement with the owner. No additional payments will be made due to discrepancies between bidder's estimated quantities, owner's estimated quantities, and the actual installed quantities to construct the work as drawn and specified.
4. This Schedule of Values form will become part of the Contract Documents and will be used as a basis for reviewing the Contractor's Applications for Payment. The Schedule of Values Unit Prices and 000416-Unit Price Schedule will be used to establish change orders for additions or deductions to the project as approved by the Owner.
5. This Schedule of Values form is available in Microsoft Excel format from the landscape architect upon request.

**BASE BID**

Section	Description	Bidder's Est. Qty.	Unit	Unit Cost	Extended Cost	Subtotal	
<b>Division 1 General Requirements</b>							
	contracting requirements	1	LS	\$24,000.00	\$24,000.00		
	general requirements	1	LS	\$3,000.00	\$3,000.00		
	layout and record drawings	1	LS	\$4,500.00	\$4,500.00		
Section Subtotal:						\$31,500.00	
<b>015000 Temporary Facilities and Controls</b>							
	remove existing vegetation	4,000	SY	\$1.00	\$4,000.00		
	silt fence	500	LF	\$5.00	\$2,500.00		
	inlet protection	1	EA	\$250.00	\$250.00		
	concrete washout	1	EA	\$1,000.00	\$1,000.00		
	erosion control blanket	2,000	SY	\$4.00	\$8,000.00		
	construction fence	500	LF	\$20.00	\$10,000.00		
	stabilized construction entrance	1	EA	\$1,400.00	\$1,400.00		
	tree protection fencing	600	LF	\$4.00	\$2,400.00		
Section Subtotal:						\$29,550.00	
<b>033000 Cast-in-Place Concrete</b>							
	fence footings	INCLUDED IN FENCE INSTALL					
	shelter footings	INCLUDED IN SHELTER INSTALL					
Section Subtotal:						-----	
<b>044300 Stone Masonry</b>							
	crushed limestone screening	1,215	SF	\$4.00	\$4,860.00		
Section Subtotal:						\$4,860.00	
<b>116800 Play Field Equipment &amp; Structures</b>							
	tennis post, nets and tie down anchor	1	LS	\$8,000.00	\$8,000.00		
	bocce court gate	1	EA	\$1,000.00	\$1,000.00		
	bocce court bumper	206	LF	\$20.00	\$4,120.00		
	shelter	1	LS	\$64,000	\$64,000.00		
Section Subtotal:						\$77,620.00	

260000	Electrical				
	electrical service	1	LS	\$6,000.00	\$6,000.00
	electrical service connection	1	LS	\$16,000.00	\$16,000.00
	electic conduit	55	LF	\$100.00	\$5,500.00
	quazite box	1	LS	\$1,000.00	\$1,000.00
	picnic shelter light fixture	1	EA	\$2,500.00	\$2,500.00
	picnic shelter GFI receptacle	2	EA	\$600.00	\$1,200.00
				Section Subtotal:	\$32,200.00

312000	Earth Moving				
	earthwork	500	CY	\$35.00	\$17,500.00
	topsoil stripped	100	CY	\$20.00	\$2,000.00
	topsoil respread	100	CY	\$20.00	\$2,000.00
	removal of spoils and excess soils	100	CY	\$20.00	\$2,000.00
				Section Subtotal:	\$23,500.00

321216	Asphalt Paving				
	asphalt paving - sport court	1,630	SY	\$49.00	\$79,870.00
	sport court striping	100	SY	\$2.00	\$200.00
	color coat	1,630	SY	\$21.00	\$34,230.00
				Section Subtotal:	\$114,300.00

321313	Concrete Paving and Curbs				
	concrete paving - pedestrian	3,500	SF	\$12.00	\$42,000.00
	bocce curb	206	LF	\$31.00	\$6,386.00
				Section Subtotal:	\$48,386.00

323113	Chain Link Fences and Gates				
	double swing gate at tennis courts	1	EA	\$3,500.00	\$3,500.00
	single swing gate at tennis courts	1	EA	\$1,200.00	\$1,200.00
	10' chainlink fence, coated	466	LF	\$105.00	\$48,930.00
				Section Subtotal:	\$53,630.00

329200	Turf and Grasses				
	turf grass seed	2,000	SY	\$3.00	\$6,000.00
	native seed mix A			By Owner	
	native seed mix B			By Owner	
				Section Subtotal:	\$6,000.00

329300	Plants				
	<b>Trees</b>				
	Acer rubrum 'Franksred' / Red Sunset Maple / 3" cal.	2	EA	\$900.00	\$1,800.00
	Cercis canadensis / Eastern Redbud Multi-stem / 6' ht. multi-stem	6	EA	\$600.00	\$3,600.00
	Quercus bicolor / Swamp White Oak / 3" cal.	\$4	EA	\$900.00	\$3,600.00
	<b>Shrubs</b>				
	Aronia melanocarpa 'Morton'/Iriquois Beauty Black Chokeberry/ 5 gal.	8	EA	\$100.00	\$800.00
	Cornus stolonifera 'Farrow' / Arctic Fire Red Twig Dogwood / 5 gal.	3	EA	\$100.00	\$300.00

<b>Ornamental Grasses</b>				
Panicum vigatum 'Shenandoah' / Shenandoah Switchgrass / 1 GAL	7	EA	\$20.00	\$140.00
Schizachyrium scoparium 'Jazz' / Jazz Little Bluestem / 1 GAL	12	EA	\$20.00	\$240.00
<b>Perennials</b>				
Allium x 'Big Beauty' / Big Beauty Allium / 1 GAL	37	EA	\$20.00	\$740.00
Section Subtotal:				\$11,220.00

<b>334100 Storm Drainage System</b>				
4" perforated PVC pipe	100	LF	\$20.00	\$2,000.00
6" sch. 40 PVC pipe	140	LF	\$45.00	\$6,300.00
trench backfill	10	CY	\$50.00	\$500.00
cleanout	1	EA	\$1,000.00	\$1,000.00
Section Subtotal:				\$9,800.00

**BASE BID TOTAL: \$442,566.00**

**ALTERNATE #1: Stone Column Wraps**

<b>042000 Unit Masonry</b>				
CMU block	100	CY	\$50.00	\$5,000.00
stone veneer	144	SFF	\$150.00	\$21,600.00
column cap	12	SFF	\$500.00	\$6,000.00
Section Subtotal:				\$32,600.00

**ALTERNATE #1 TOTAL: \$32,600.00**

SECTION 000416 - SCHEDULE OF UNIT PRICES

Date: June 13, 2023  
RE: Conservancy Park

NOTES:

1. Bidder to enter the unit cost for each item on a basis of the unit given. See Section 001270-Unit Prices for specific information.
2. This Schedule of Unit Prices will become part of the Contract Documents and will be used as a basis for payment and to substantiate Change Order requests.
3. This Schedule of Unit Prices form is available in Microsoft Excel format from the landscape architect upon request.

Item	Description	Qty.	Unit	Unit Cost
312000	Earth Moving			
	over excavate and backfill with structural fill	1	CY	\$96.00
	import, spread and grade topsoil	1	CY	\$83.00

END OF SECTION 000416

SECTION 000420 – SUBSTITUTION FORM

Bidders may suggest substitutions of materials or equipment for consideration. If the substitution is deemed accepted by the Owner’s Representative, the information may be issued as an addendum or taken under consideration at the time of signing the contract. The Owner reserves the right to accept or reject any or all proposed substitutions. Substitutions may not be accepted subsequent to award of the Contract unless approved by the Owner’s Representative.

List all “Substitutions” for which consideration is desired, showing the addition or reduction in price to be made, for each, if the substitution is accepted, or stating “No Change in Price” if none is proposed.

MATERIALS/EQUIPMENT	SUBSTITUTION	ADD	DEDUCT
<i>To be provided at time of award</i>			
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

It is understood and agreed that the proposals indicated above are based on furnishing materials and equipment shown or specified and entitles the Owner to require that such names, materials, and methods be incorporated in the Work, except as substitutions for same based on the supplementary quotations entered above and as accepted by the Owner’s Representative and are subsequently made a part of the written Contract.

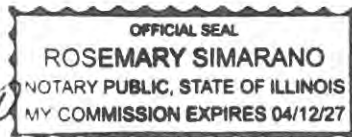
ACKNOWLEDGED AND AGREED TO:

By: *Ken Copenhaver* **Ken Copenhaver - President**  
Authorized Signature / Title

Subscribed and sworn to before me this

27th day of June, 2023

**Rosemary Simarano** *Rosemary Simarano*  
Notary Public



END OF SECTION 000420



# AIA® Document A310™ – 2010

## Bid Bond

### CONTRACTOR:

(Name, legal status and address)

Copenhaver Construction, Inc.  
75 Koppie Drive  
Gilberts, IL 60136

### SURETY:

(Name, legal status and principal place of business)

Endurance American Insurance Company  
4 Manhattanville Road  
Purchase, NY 10577

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

### OWNER:

(Name, legal status and address)

Village of Gilberts  
93 Galligan Road  
Gilberts, IL 60136

BOND AMOUNT: \*\*\* TEN PERCENT OF ACCOMPANYING BID \*\*\*

### PROJECT:

(Name, location or address, and Project number, if any)


Gilberts Conservancy Park

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

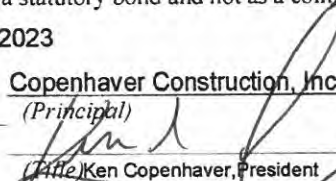
If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

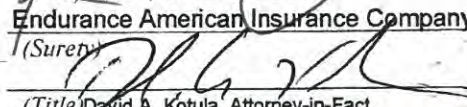
Signed and sealed this 27th day of June, 2023

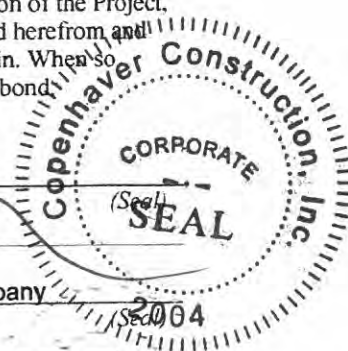
  
\_\_\_\_\_  
(Witness)

Copenhaver Construction, Inc.  
(Principal)

  
\_\_\_\_\_  
(Title) Ken Copenhaver, President

Endurance American Insurance Company  
(Surety)

  
\_\_\_\_\_  
(Title) David A. Kotula, Attorney-in-Fact



**CAUTION:** You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

G-23208-B

SS.

STATE OF IL

COUNTY OF WILL

I, Brandie Catlin, Notary Public of Will County, in the State of Illinois, do hereby certify that David A. Kotula Attorney-in-fact, of the Endurance American Insurance Company, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered said instrument, for and on behalf of the Endurance American Insurance Company, for the uses and purposes therein set forth.

Given under my hand and notarial seal at my office in the City of Lockport in said County, this 27th day of June A.D. 2023.



Brandie Catlin  
Brandie Catlin Notary Public





KNOW ALL BY THESE PRESENTS, that Endurance Assurance Corporation, a Delaware corporation, Endurance American Insurance Company, a Delaware corporation, Lexon Insurance Company, a Texas corporation, and/or Bond Safeguard Insurance Company, a South Dakota corporation, each, a "Company" and collectively, "Sompo International," do hereby constitute and appoint: David A. Kotula, Brian DiPaola as true and lawful Attorney(s)-In-Fact to make, execute, seal, and deliver for, and on its behalf as surety or co-surety; bonds and undertakings given for any and all purposes, also to execute and deliver on its behalf as aforesaid renewals, extensions, agreements, waivers, consents or stipulations relating to such bonds or undertakings provided, however, that no single bond or undertaking so made, executed and delivered shall obligate the Company for any portion of the penal sum thereof in excess of the sum of TEN MILLION Dollars (\$10,000,000.00).

Such bonds and undertakings for said purposes, when duly executed by said attorney(s)-in-fact, shall be binding upon the Company as fully and to the same extent as if signed by the President of the Company under its corporate seal attested by its Corporate Secretary.

This appointment is made under and by authority of certain resolutions adopted by the sole shareholder of each Company by unanimous written consent effective the 15th day of June, 2019, a copy of which appears below under the heading entitled "Certificate".

This Power of Attorney is signed and sealed by facsimile under and by authority of the following resolution adopted by the sole shareholder of each Company by unanimous written consent effective the 15th day of June, 2019 and said resolution has not since been revoked, amended or repealed:

RESOLVED, that the signature of an individual named above and the seal of the Company may be affixed to any such power of attorney or any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signature or seal shall be valid and binding upon the Company in the future with respect to any bond or undertaking to which it is attached.

IN WITNESS WHEREOF, each Company has caused this instrument to be signed by the following officers, and its corporate seal to be affixed this 15th day of June, 2019.

Endurance Assurance Corporation
By: Richard M Appel
Richard Appel; SVP & Senior Counsel

Endurance American Insurance Company
By: Richard M Appel
Richard Appel; SVP & Senior Counsel

Lexon Insurance Company
By: Richard M Appel
Richard Appel; SVP & Senior Counsel

Bond Safeguard Insurance Company
By: Richard M Appel
Richard Appel; SVP & Senior Counsel



ACKNOWLEDGEMENT

On this 15th day of June, 2019, before me, personally came the above signatories known to me, who being duly sworn, did depose and say that he/she is an officer of each of the Companies; and that he executed said instrument on behalf of each Company by authority of his office under the by-laws of each Company.

By: Amy Taylor
Amy Taylor, Notary Public - My Commission Expires 5/9/23

CERTIFICATE

I, the undersigned Officer of each Company, DO HEREBY CERTIFY that:

- 1. That the original power of attorney of which the foregoing is a copy was duly executed on behalf of each Company and has not since been revoked, amended or modified; that the undersigned has compared the foregoing copy thereof with the original power of attorney, and that the same is a true and correct copy of the original power of attorney and of the whole thereof;
2. The following are resolutions which were adopted by the sole shareholder of each Company by unanimous written consent effective June 15, 2019 and said resolutions have not since been revoked, amended or modified:

"RESOLVED, that each of the individuals named below is authorized to make, execute, seal and deliver for and on behalf of the Company any and all bonds, undertakings or obligations in surety or co-surety with others: RICHARD M. APPEL, BRIAN J. BEGGS, CHRISTOPHER DONELAN, SHARON L. SIMS, CHRISTOPHER L. SPARRO, MARIANNE L. WILBERT

; and be it further

RESOLVED, that each of the individuals named above is authorized to appoint attorneys-in-fact for the purpose of making, executing, sealing and delivering bonds, undertakings or obligations in surety or co-surety for and on behalf of the Company."

- 3. The undersigned further certifies that the above resolutions are true and correct copies of the resolutions as so recorded and of the whole thereof.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal this 27th day of June, 2023

By: Daniel S. Lurie, Secretary

NOTICE: U. S. TREASURY DEPARTMENT'S OFFICE OF FOREIGN ASSETS CONTROL (OFAC)

No coverage is provided by this Notice nor can it be construed to replace any provisions of any surety bond or other surety coverage provided. This Notice provides information concerning possible impact on your surety coverage due to directives issued by OFAC. Please read this Notice carefully.

The Office of Foreign Assets Control (OFAC) administers and enforces sanctions policy, based on Presidential declarations of "national emergency". OFAC has identified and listed numerous foreign agents, front organizations, terrorists, terrorist organizations, and narcotics traffickers as "Specially Designated Nationals and Blocked Persons". This list can be located on the United States Treasury's website - https://www.treasury.gov/resource-center/sanctions/SDN-List.

In accordance with OFAC regulations, if it is determined that you or any other person or entity claiming the benefits of any coverage has violated U.S. sanctions law or is a Specially Designated National and Blocked Person, as identified by OFAC, any coverage will be considered a blocked or frozen contract and all provisions of any coverage provided are immediately subject to OFAC. When a surety bond or other form of surety coverage is considered to be such a blocked or frozen contract, no payments nor premium refunds may be made without authorization from OFAC. Other limitations on the premiums and payments may also apply.

Any reproductions are void.

Surety Claims Submission: LexonClaimAdministration@sompo-intl.com

Telephone: 615-553-9500 Mailing Address: Sompo International; 12890 Lebanon Road; Mount Juliet, TN 37122-2870



SECTION 000435 – BID SECURITY

Attached to this Proposal is a cashier's check, certified check, or bid bond for 10% of the total Base Bid made payable to Village of Gilberts.

Insert amount:

\_\_\_\_\_ **10% of Total Bid Amount** \_\_\_\_\_ DOLLARS  
( \$     **10%**     )

If this Proposal is accepted and the Bidder fails to execute a Contract with the Owner, the full amount of the security will be forfeited to the Owner as payment of damage due to delay. If this Proposal is not accepted, the security will be returned to the Bidder within 30 days of the execution of the Contract with the successful Bidder.

END OF SECTION 000435

SECTION 000440 – MATERIAL SOURCES and/or SUB-CONTRACTED WORK FORM

List the sources, manufacturers and/or (sub)contractors for the following items:

Trade	Source/Mfg.	(Sub) Contractor
Sport Court Paving	_____	<u>US Tennis Courts</u>
Concrete Paving	<u>Ozinga</u>	<u>Copenhaver Construction</u>
Storm Sewerage/ Subdrainage Systems	<u>Mid American Water</u>	<u>Copenhaver Construction</u>
Fencing	_____	<u>Peerless Fence</u>
Landscaping	_____	<u>Copenhaver Construction</u>
Picnic Shelter	<u>Poligon</u>	<u>Copenhaver Construction</u>
Electrical	_____	<u>Jasco</u>
Earthwork	_____	<u>Copenhaver Construction</u>

END OF SECTION 000440

SECTION 000447 – WAGE RATES

PART 1 - GENERAL


1.1 DESCRIPTION

- A. The Contractor shall comply with the requirements of 820 ILCS 130/1-12 inclusive with reference to prevailing rates of wages. The Contractor shall pay or cause to be paid not less than the prevailing rates of wages as found by the Owner or Department of Labor or as determined by the Court on Review to all laborers, workers and mechanics.
- B. The Illinois Department of Labor website (<http://www.state.il.us/agency/idol/>) will list the current edition of the prevailing wages for the county where the Work is being performed.
  - 1. Contractor is responsible to verify that prevailing wages listed are current.
  - 2. Contractor must pay current wages in effect at time Work is being carried out.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

ACKNOWLEDGED AND AGREED TO:

By:  **Ken Copenhaver - President**  
 Authorized Signature Title

Subscribed and sworn to before me this

27th day of June, 2023

**Rosemary Simarano**   
 Notary Public

END OF SECTION 000447



SECTION 000455 – CONTRACTOR’S QUALIFICATIONS FORM

1.1 PROJECT EXPERIENCE

A. List below the projects of similar nature that you have successfully completed:

1. Project Name:     **\*\*SEE ATTACHED\*\***      
Project Location: \_\_\_\_\_  
Project Budget: \_\_\_\_\_  
Completion Date: \_\_\_\_\_  
Owner’s Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

2. Project Name: \_\_\_\_\_  
Project Location: \_\_\_\_\_  
Project Budget: \_\_\_\_\_  
Completion Date: \_\_\_\_\_  
Owner’s Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

3. Project Name: \_\_\_\_\_  
Project Location: \_\_\_\_\_  
Project Budget: \_\_\_\_\_  
Completion Date: \_\_\_\_\_  
Owner’s Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

1.2 PROJECTS IN PROGRESS

A. List below projects currently in progress:

1. Project Name:     Fox Lake Lakefront Park Expansion      
Project Location:     FOX LAKE

Project Budget: \$9,481,025.00  
Completion Date: June 2024  
Owner's Name: Village of Fox Lake  
Contact Person: Hartan Ddand w/IMEG  
Phone: (847) 833-1214

---

2. Project Name: \_\_\_\_\_  
Project Location: \_\_\_\_\_  
Project Budget: \_\_\_\_\_  
Completion Date: \_\_\_\_\_  
Owner's Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

3. Project Name: \_\_\_\_\_  
Project Location: \_\_\_\_\_  
Project Budget: \_\_\_\_\_  
Completion Date: \_\_\_\_\_  
Owner's Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

1.3 PROJECT MANAGEMENT

A. List name of probable Project Manager or Job Superintendent: Matt Chada

B. List below similar projects managed:

1. Project Name: \*SEE ATTACHED\*  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

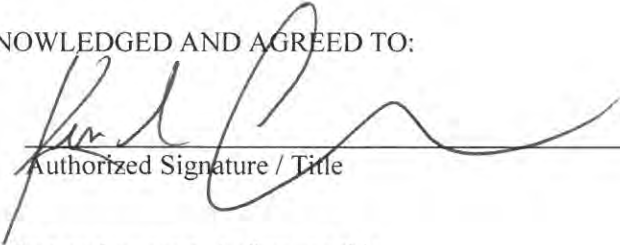
2. Project Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

3. Project Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Phone: \_\_\_\_\_

---

ACKNOWLEDGED AND AGREED TO:

By:  **Ken Copenhaver - President**  
Authorized Signature / Title

Subscribed and sworn to before me this  
27th day of June, 2023

**Rosemary Simarano**   
Notary Public

END OF SECTION 000455





75 Koppie Dr., Gilberts, IL 60136 Phone (847) 428-6696 Fax (847) 428-6798 [copenhaverinc@yahoo.com](mailto:copenhaverinc@yahoo.com)

## **Project References** **Parks and Streetscape Projects**

### **Aurora, Wilder Park Improvements**

**Cost:** \$606,312.00 (17,200 SF Brick Pavers)

**Project:** Earthwork, demolition, sidewalk culverts, brick paver installation 17,200 SF, Sienna Edge seat wall, brick border flush barrier curb, retaining wall, recycled poured rubber surfacing, HMA patching, PCC 6" barrier curb, sidewalks 5" (3,600 SF), curb and gutter, detectable warnings, HMA bike path removal, playground equipment installation, electrical string lighting with pole foundations, irrigation, pavement rubbilization, landscaping, traffic control.

**Contact:** Kurt Muth, P.E. 630-256-3232, [muthk@aurora.il.us](mailto:muthk@aurora.il.us)

**Completion:** In Progress, October 2021

### **Schaumburg/Spring Valley Patron Improvements**

**Cost:** \$1,099,500.00

**Project:** Earthwork, Rosetta Stone outcropping retaining walls, furnish and install; four (4) Cedar Forest truss shelters, one (1) Meadow Arbor, one (1) Bison's Bluff (Romtec) outdoor restroom building, storm sewer infrastructure, sanitary and water service, concrete sidewalk, banding and curbing, decomposed granite paving, asphalt pathway, crushed stone pathway, stone boulder placement, site electrical, and landscape restoration.

**Contact:** Todd King, Dir of Parks and Planning 847-985-2115

**Completion:** May 2021

### **Algonquin/Stoneybrook Park Reconstruction**

**Cost:** \$805,129.03

**Project:** Earthwork, demolition, HMA paving, color coating surfaces, drainage, pickleball court, bocce court, gaga ball pit, playground equipment and safety surface construction, sand volleyball and basketball courts, picnic shelter and furnishings, fencing, bike racks, benches, drinking fountain, concrete paving, permeable unit pavers, shelter installation, site electrical, drinking fountain, pavement markings, tree relocation and installation, shrubs and finish landscaping, tree grates.

**Contact:** Doug Gotham, Landscape Architect, CBBEL, 847-823-0500 [dgotham@cbbel.com](mailto:dgotham@cbbel.com)

**Completion:** April 2021

### **Lake in the Hills/Turtle Island Park Expansion Development**

**Cost:** \$354,552.00

**Project:** Shoreline stabilization, pavilion construction, HMA parking lot removal and replacement, fishing pier, PCC boat ramp, barrier curb and pad, pavers, outcropping, swale dams, swale & shoreline plugs, pavilion with green roof, boat storage racks, educational signage, bike racks, trash receptacles, perennials, shrubs, and trees, 3-year monitoring and maintenance of native planting areas installation.

**Contact:** Chad Pieper, P.E., HR Green, 815-759-8346 [cpieper@hrgreen.com](mailto:cpieper@hrgreen.com)

**Completion:** November 2020

### **City of Wheaton/2019 Downtown Streetscape - Phase 3 Construction**

**Cost:** \$5,312,883.00

**Project:** HMA roadway resurfacing, PCC sidewalk, curb and gutter, saw cutting, roadway lighting, traffic signals, storm sewers, water main, manholes, catch basins, sanitary structure abandonment, permeable pavers, furnishings (benches, bicycle racks, trash cans, etc.) trees, landscaping.

**Contact:** Sarang Lagvanker, 630-260-2067, [Slagvanker@wheaton.il.us](mailto:Slagvanker@wheaton.il.us)

**Completion:** November 2020

**South Elgin/Riverwalk at Panton Mill Park – Site Concrete 32C-1**

**Cost:** \$936,000.00

**Project:** Furnish and install Site Concrete; layout, curb and gutter, sidewalks, splash pad, column foundations for stage and concessions, and pavilion, plaza seat-wall, building footings, walls, slab on grade, stairs at village hall and stages.

**Contact:** Bob Arnolde, Project Site Superintendent; 224-281-2651, [barnolde@lampinc.net](mailto:barnolde@lampinc.net)

**Completion:** August 2020

**City of Wheaton/2019 Downtown Streetscape – Phase 2 Construction**

**Cost:** \$6,814,124.00

**Project:** Roadway resurfacing, PCC sidewalk and curb and gutter, roadway lighting, traffic signals, storm sewers, manholes, catch basins, wayfinding/ADA signage, permeable pavers over structural soil, landscaping, trees, and site furnishings including but not limited to signage, benches, trash receptacles, bicycle racks, and tree frames and grates.

**Contact:** Sarang Lagvanker, 630-260-2067, [slagvanker@wheaton.il.us](mailto:slagvanker@wheaton.il.us)

**Completion:** July 2020

**Lake Villa/Cedar Avenue Streetscape, Phase II**

**Cost:** \$1,075,958.00

**Project:** Earthwork, sidewalk, curb and gutter, brick pavers, lighting, irrigation, landscaping, trees, site furnishings including but not limited to; signage, benches, trash receptacles, bicycle racks, and tree frames and grates.

**Contact:** Joyce DeLong, 224-372-0751, [jjdelong@ati-ae.com](mailto:jjdelong@ati-ae.com)

**Completion:** April 2020

**Mundelein Park District/Goodwin Place Park - Park Construction**

**Cost:** \$149,433.00

**Project:** Construction of park facilities including asphalt trails, ADA concrete sidewalks and ramps, playgrounds, decorative fencing, bench seating, plaques, trash receptacles, tree protection, perennial planting beds, grading, turf establishment and installation of site furnishings

**Contact:** HR Green, Inc., Shawn Davis 815-385-1778 (Project No.: 171385)

**Completion:** November 2018

**Village of Johnsburg/Running Brook Farms Subdivision Park Project**

**Cost:** \$73,740.00

**Project:** Construction of park facilities including playground area, half-court basketball court, benches, curbing and mulch, playground surface, sidewalks, including playground equipment play structure and swing set.

**Contact:** HR Green Inc., Todd Richards 815-759-8350 (Project No.: 180356)

**Completion:** July 2018

**City of Plano/Lathrop Park**

**Cost:** \$224,470.00

**Project:** Playground installation, rain garden, concrete work, relocate existing playground equipment, furnish and install site furnishings, finish landscape.

**Contact:** Thomas J. Karpus (630)552-8425, [bpz@comcast.net](mailto:bpz@comcast.net)

**Completion:** June 2018

**City of Elgin/ South Street Roadway Extension**

**Cost:** \$7,983,473.20 *APWA Award 2018*

**Project:** Earth excavation, culvert removal and replacement, water main, sanitary and storm sewer, PCC sidewalks, new streetlights, HMA bike path, ground stabilization and sediment/erosion control.

**Contact:** Julie Morrison, EEI, (630) 816-4465

**Completion:** June 2018

**Hampshire Township Park District/Bruce Ream Memorial Park Improvements**

**Cost:** \$397,451.00

**Project:** Long shared-use trail, basketball court, pickleball court, sand volleyball court, bank-shot court, concrete work

**Contact:** Laura Schraw (847) 683-2690, [laura@hampshireparkdistrict.org](mailto:laura@hampshireparkdistrict.org)

**Completion:** November 2017



**Hampshire Township Park District/Bruce Ream Memorial Park (Splash Park)**

**Cost:** \$390,212.00

**Project:** Installation of Splash Pad/ Park, electric and concrete work.

**Contact:** Laura Schraw (847) 683-2690, [laura@hampshireparkdistrict.org](mailto:laura@hampshireparkdistrict.org)

**Completion:** July 2017

**IDOT 16 Contract No. 61B80, Algonquin**

**Cost:** \$703,432.08

**Project:** Construction of a Boardwalk, 2,730 S.F. from Harnish Drive to Edgewood Drive, HMA bike path, Pedestrian Path, sidewalks, segmental concrete block retaining wall, railings, structure excavation, pile driving, concrete sidewalks, curb & gutter, culverts, HMA pavement, detectable warnings, perimeter erosion barrier and control, tree removal, various plantings and finish landscaping.

**Contact:** Bill Schultz, S.E. 847-417-7052 [wschultz@cbbel.com](mailto:wschultz@cbbel.com)

**Completion:** March 2017

## SECTION 000460 – EQUAL EMPLOYMENT OPPORTUNITY

In the event of the contractor's noncompliance with any provision of this Equal Employment Opportunity Clause, the Illinois Fair Employment Practices Act or the Fair Employment Practices Commission's Rules and Regulations for Public Contracts, the contractor may be declared not responsible and therefore ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivision or municipal corporations, and the contract may be canceled or avoided in whole or in part, and such other sanctions or penalties may be imposed or remedies involved as provided by statute or regulation.

During the performance of this contract, the contractor agrees as follows:

(1) That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin or ancestry; and further that it will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any such underutilization.

(2) That, if it hires additional employees in order to perform this contract, or any portion hereof, it will determine the availability (in accordance with the Commission's Rules and Regulations for Public Contracts) of minorities and women in the area(s) from which it may reasonable recruit and it will hire for each job classification for which employees are hired in such a way that minorities and women are not underutilized.

(3) That, in all solicitations or advertisements for employees placed by it or on its behalf, it will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, national origin or ancestry.

(4) That it will send to each labor organization or representative of workers with which it has or is bound by a collective bargaining or other agreement or understanding, a notice advising such labor organization or representative of the contractor's obligations under the Illinois Fair Employment Practices Act and the commission's Rules and Regulations for Public Contract. If any such labor organization or representative fails or refuses to cooperate with the contractor in its efforts to comply with such Act and Rules and Regulations, the contractor will promptly so notify the Illinois Fair Employment Practices Commission and the contracting agency and will recruit employees from other sources when necessary to fulfill its obligations thereunder.

(5) That it will submit reports as required by the Illinois Fair Employment Practices Commission's Rules and Regulations for Public Contracts, furnish all relevant information as may from time to time be requested by the Commission or the contracting agency, and in all respects comply with the Illinois Fair Employment Practices Act and the Commission's Rules and Regulations for Public Contracts so that such provisions will be binding upon every such subcontractor; and that it will also so include the provisions of paragraphs 1, 5, 6 and 7 in every supply subcontract as defined in Section 2.10 (a) of the Commission's Rules and Regulations for Public Contracts so that such provisions will be binding upon every such subcontractor. In the same manner as with other provisions of this contract, the contractor will be liable for compliance with applicable provisions of this clause by all its subcontractors; and further it will promptly notify the contracting agency and the Illinois Fair Employment Practices Commission in the event any subcontractor fails or refuses to comply therewith. In addition, no contractor will utilize any subcontractor declared by the Commission to be not responsible and therefore ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

With respect to the two types of subcontracts referred to under paragraph 7 or the Equal Employment Opportunity Clause above, following is an excerpt of Section 2 of the FEPC's Rules and Regulations for Public Contracts:

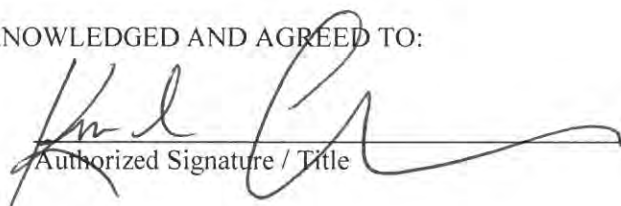
"Section 2.10. The term "Subcontract" means any agreement, arrangement or understanding, written or otherwise, between a contractor and any person (in which the parties do not stand in the relationship of any employer and an employee):

(a) for the furnishing of supplies or services or for the use of real or personal property, including lease arrangements, which, in whole or in part, utilized in the performance of any one or more contracts; or

(b) under which any portion of the contractor's obligation under any one or more contracts is performed, undertaken or assumed."

ACKNOWLEDGED AND AGREED TO:

By:

  
Authorized Signature / Title

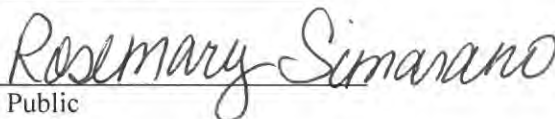
**Ken Copenhaver - President**

Subscribed and sworn to before me this

27th day of June, 2023

**Rosemary Simarano**

Notary Public



END OF SECTION 000460



SECTION 000470 – AFFIDAVIT OF COMPLIANCE

The undersigned, **Ken Copenhaver**, being first duly sworn on oath, deposes that he is  
(print or type Name)  
**President** of **Copenhaver Construction**, the authority to make  
(Sole Owner, Partner, President, Secretary, etc.) (Name of Company)

this certification on behalf of the Bidder;


A. That in connection with this procurement,

- (1) The bid is not made in the interest of or on behalf of any undisclosed person, partnership, company, association, organization or corporation;
- (2) The Bidder has not in any manner directly or indirectly sought by consultation, communication or agreement with anyone to fix the bid price of said bidder or any other bidder or to fix any overhead profit or cost element of such bid price or that of any other bidder or to secure any advantage against the public body awarding the contract or anyone interested in the proper contract;
- (3) The bid is genuine and not collusive or sham;
- (4) The prices or breakdowns thereof and any and all contents which had been quoted in this bid have not been knowingly disclosed by the bidder and will not be knowingly disclosed by the bidder directly or indirectly to any other bidder or any competitor prior to opening;
- (5) All statements contained in such bid are true;
- (6) No attempt has been made or will be made by the bidder to induce any other person or firm to submit a false or sham bid;
- (7) No attempt has been made or will be made by the bidder to induce any other person or firm to submit or not to submit a bid for the purpose of restricting competition;

- B.
- (1) He is the person in the Bidder's organization responsible within that organization for the decision as to the prices being bid herein and that he has not participated, and will not participate, in any action contrary to paragraphs 1 through 7 above; or
  - (2)
    - (a) He is not the person in the Bidder's organization responsible within that organization for the decision as to the prices being bid herein but that he has been authorized to act as agent for the persons responsible for such decision in certifying that such persons have not participated, and will not participate, in any action contrary to paragraphs 1 through 7 above and as their agent does hereby so certify; and
    - (b) That he has not participated, and will not participate, in any action contrary to paragraphs 1 through 7 above.

- C. The undersigned certifies that the Bidder has never been convicted for a violation of State laws prohibiting bid rigging or bid rotating.
- D. It is expressly understood that the foregoing statements and representations and promises are made as a condition to the right of the bidder to receive payment under any award made hereunder.

ACKNOWLEDGED AND AGREED TO:

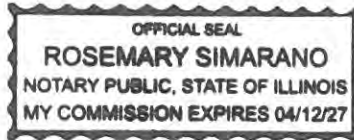
By:  **Ken Copenhaver - President**  
Authorized Signature / Title

Subscribed and sworn to before me this

27th day of June, 2023

**Rosemary Simarano**   
Notary Public

END OF SECTION 000470





**Illinois Department  
of Transportation**

# Certificate of Eligibility

Copenhaver Construction, Inc.  
75 Koppie Drive GILBERTS, IL 60136

Contractor No 1216

WHO HAS FILED WITH THE DEPARTMENT AN APPLICATION FOR PREQUALIFICATION STATEMENT OF EXPERIENCE, EQUIPMENT AND FINANCIAL CONDITION IS HEREBY QUALIFIED TO BID AT ANY OF DEPARTMENT OF TRANSPORTATION LETTINGS IN THE CLASSES OF WORK AND WITHIN THE AMOUNT AND OTHER LIMITATIONS OF EACH CLASSIFICATION, AS LISTED BELOW, FOR SUCH PERIOD AS THE UNCOMPLETED WORK FROM ALL SOURCES DOES NOT EXCEED

\$36,486,000.00

001	EARTHWORK	\$8,250,000
012	DRAINAGE	\$11,750,000
017	CONCRETE CONSTRUCTION	\$6,250,000
018	LANDSCAPING	\$2,725,000
022	FENCING	\$300,000
023	GUARDRAIL	\$75,000
034	DEMOLITION	\$825,000
09A	HIGHWAY STRUCTURES	\$5,600,000

THIS CERTIFICATE OF ELIGIBILITY IS VALID FROM 8/18/2022 TO 4/30/2023 INCLUSIVE, AND SUPERSEDES ANY CERTIFICATE PREVIOUSLY ISSUED, BUT IS SUBJECT TO REVISION OR REVOCATION, IF AND WHEN CHANGES IN THE FINANCIAL CONDITION OF THE CONTRACTING FIRM OR OTHER FACTS JUSTIFY SUCH REVISIONS OR REVOCATION. ISSUED AT SPRINGFIELD, ILLINOIS ON 8/19/2022.

*[Signature]*  
Engineer of Construction



# Illinois Department of Transportation

Office of Highways Project Implementation / Bureau of Construction  
2300 South Dirksen Parkway / Springfield, Illinois 62764

March 6, 2023

Copenhaver Construction, Inc., #1216  
75 Koppie Drive  
Gilberts, IL 60136

Dear Contractor,

In response to staffing levels industrywide, the department will be implementing 44 IL Adm. Code, Section 650.120 which allows the department to grant contractors a temporary extension of prequalification ratings.

Prequalification ratings set to expire March 31 through July 31, 2023, will be extended through August 4, 2023. This will allow currently prequalified firms to bid on the April, June and August lettings. Please submit your renewal application as soon as possible as applications are processed in the order they are received. Once your application has been analyzed, a new Certificate of Eligibility will be issued. The new certificate will supersede the extension granted with this letter and any certificate previously issued.

If your firm plans to bid on a local agency letting and has not received a new Certificate of Eligibility, a copy of this letter will need to be attached to your current Certificate of Eligibility and submitted to the local agency prior to being issued bidding documents.

**2023 Application Submittal Notice:** In addition to the mandatory hard copy submission, the department is requesting contractors submit a PDF electronic copy if possible. Electronic copies should be emailed to Tara Elston at [Tara.Elston@illinois.gov](mailto:Tara.Elston@illinois.gov). When mailing in the hard copy, please remember notarized pages must be original copies with wet signatures.

Questions or comments may be addressed to Tara Elston, Prequalification Engineer, at (217) 782-3413.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lora S. Rensing'.

Lora S. Rensing, P.E.  
Engineer of Construction





22 East Chicago Avenue  
Suite 200A  
Naperville, IL 60540  
T 630.961.1787  
hitchcockdesigngroup.com

# Conservancy Park

Brielle Blvd. and Freeman Rd.  
Gilberts, Illinois 60136

Village of Gilberts  
87 Galligan Road  
Gilberts, Illinois 60136

## Issue for Permit May 30, 2023

### Project Team

*Landscape Architect* Sheets: L-series  
**Hitchcock Design Group**  
22 East Chicago Avenue, Suite 200A  
Naperville, Illinois 60540  
T 630.961.1787

*Civil Engineer* Sheets C-series  
**Robinson Engineering**  
17000 South Park Avenue,  
South Holland, Illinois 60473  
T 708.331.6700

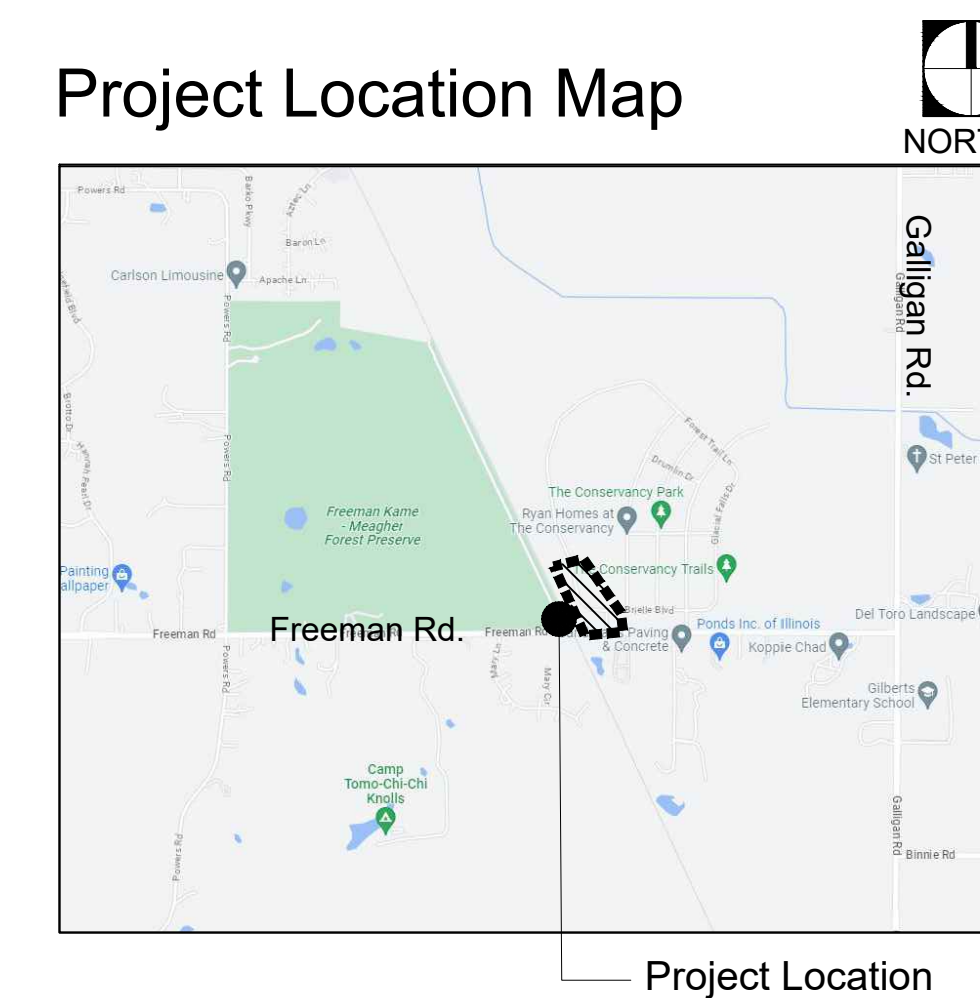
### General Notes

1. Basemap information obtained from plans prepared by Robinson Engineering, received April 21, 2023.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Refer to specifications for additional conditions, standards and notes.
5. The plans and specifications are intended to be completed entirely by the contractor. Unless clearly identified as "By Owner," all work contained within is the responsibility of the general contractor.

### Sheet Index

<b>L-series</b>	
L1.0	Existing Conditions Plan
L2.0	Site Preparation and Removals Plan
L3.0	Layout and Materials Plan
L4.0	Planting Plan
L5.0-L5.5	Details
<b>C-series</b>	
C1.0	General Notes
C2.0	Grading and Utility Plan
C3.0	Storm Water Pollution Prevention Plan
C3.1	Storm Water Pollution Prevention Notes

### Project Location Map



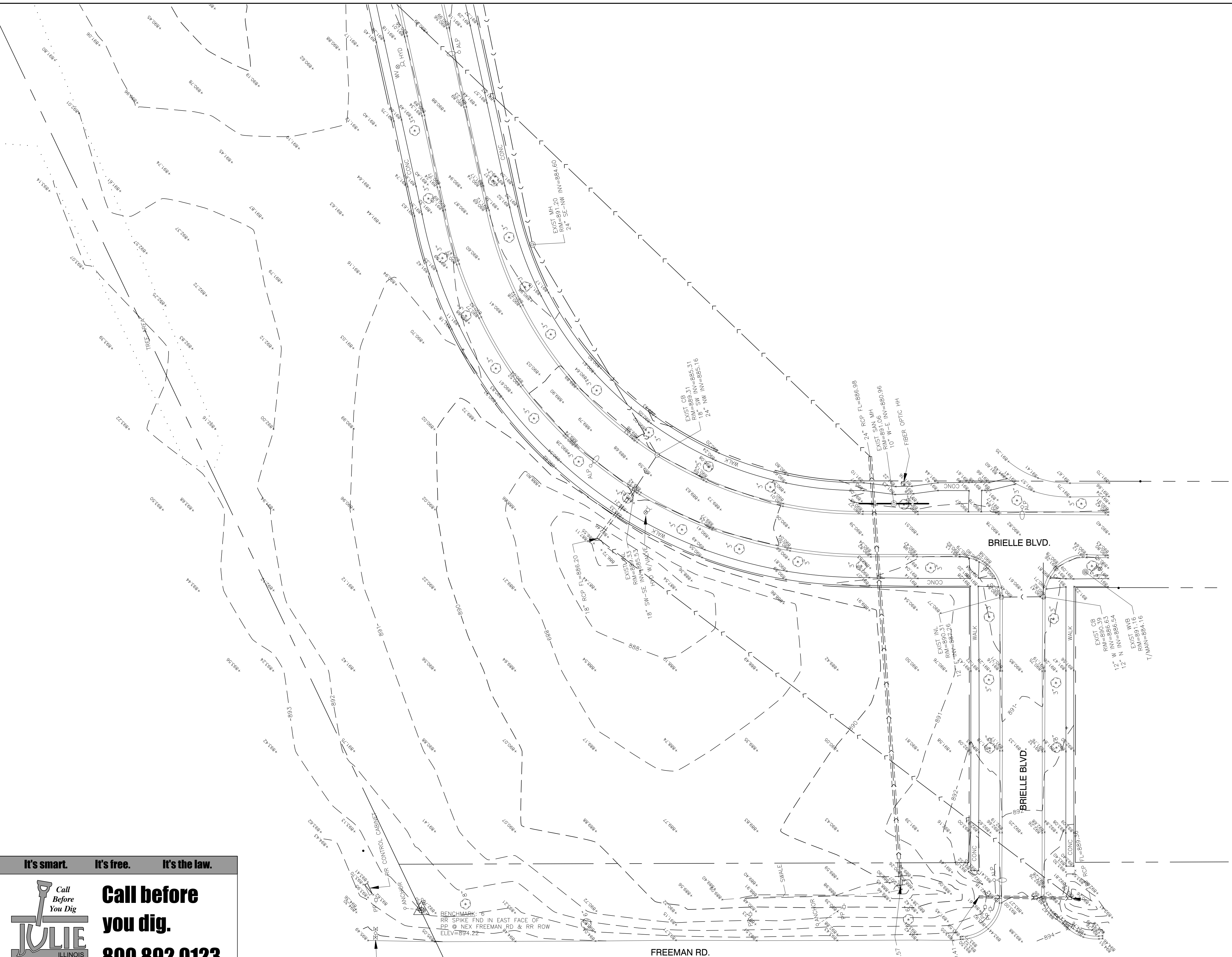
**It's smart. It's free. It's the law.**

Call Before You Dig

**JULIE**  
ILLINOIS  
ONE-CALL SYSTEM

**Call before you dig.**  
**800.892.0123**

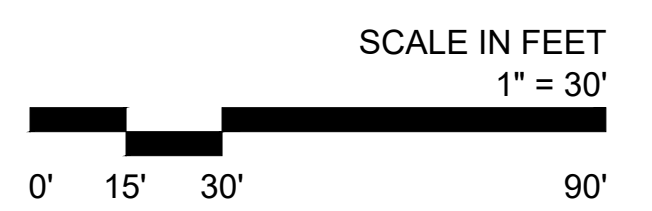
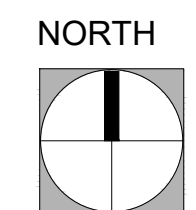




CULVERT  
CONTOUR LINE

LEGEND

- ELEVATION BENCHMARK
- INLET
- CATCH BASIN
- FIRE HYDRANT
- WATER VALUT
- FIRE HYDRANT WITH WATER VAULT
- CLEANOUT
- MANHOLE
- HANDHOLE
- LIGHT POLE
- POWER POLE
- CONTROLLER BOX
- RAILROAD FLASHING SIGNAL
- DECIDUOUS TREE
- WATER LINE
- SANITARY SEWER
- STORM SEWER
- RIGHT OF WAY



It's smart. It's free. It's the law.

**Call before you dig.**

**800.892.0123**

ILLINOIS ONE-CALL SYSTEM

DATE = 05/30/2023	DESIGNED — MGM	REVISED —
SCALE = 1"=30'	CHECKED — EFH	REVISED —
PROJECT NO = ---	DRAWN — CNO	REVISED —
FILE NAME = L1.0 Existing Conditions	CHECKED —	REVISED —



CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
EXISTING CONDITIONS

VILLAGE  
of  
GILBERTS

SHEET NO.  
L1.0




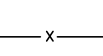



LAST SAVED BY: MGSOSHORN-MARONEY ON 5/30/23  
PLOTTED BY: MONICA GOSHORN-MARONEY ON 5/31/23



**SITE PREPARATION AND REMOVALS NOTES**

- Contractor shall install construction fence at the limits of construction prior to beginning work. Maintain and adjust construction fencing as needed during progress of construction. Staging and construction access shall be approved by Owner.
- Contractor shall install tree protection fencing as shown on the plans prior to beginning work. Maintain and adjust tree protection fencing as needed during progress of construction. Storage of materials, vehicular access, and all other construction activities are strictly prohibited within the limits of the tree protection fencing.
- Plans indicate general location and limits of removals. Contractor shall perform removals only as necessary for construction of proposed improvements. No additional payments will be made for removals or restoration not required to construct the improvements as drawn and specified. Refer to Layout Plan for more specific information regarding proposed improvements and verify conditions in the field prior to performing removals.
- Sawcut and remove concrete paving to nearest joint where indicated. All saw cuts required for removal items to be included in the unit cost of that particular pay item.
- Tree stumps shall be ground to a minimum depth of 18" below existing grade or as required to properly perform the work.
- Remove and dispose of turf where planting beds are designated. Refer to Planting Plan for limits of proposed landscape improvements.
- Where turf or plantings are proposed in existing paved areas, remove all base material.
- Remove all utilities designated for removal to extent required for improvements, unless otherwise noted. Cap ends of any remaining underground conduit and piping, and pull all electrical wire out at source.
- Items indicated for Removal shall include complete removal of above grade item and below grade appurtenances (foundations, urban fill, wiring, piping, etc.) including disposal off-site following applicable codes and ordinances, unless otherwise shown on the plans.
- Items indicated as Remove and Salvage shall include careful protection, removal, and storage of items. For reinstall items, Contractor shall store during construction. All other Salvage items shall be delivered to location as indicated by owner unless otherwise shown on the plans.
- Contractor to protect all existing utilities and all other site features not designated for removal. Contractor is responsible for replacing/repairing any existing utilities or other site features damaged during construction to the original condition at no cost to the Owner.
- Contractor responsible for maintaining existing utility services (electrical, sanitary, storm) during construction unless otherwise indicated in the Contract Documents.
- Contractor shall coordinate all work so public sidewalk remains open throughout construction.
- Refer to civil and electrical plans for additional utility adjustments and removals.
- Refer to specifications for additional conditions, standards and notes.

**SITE PREPARATION AND REMOVALS LEGEND**

-  Remove lawn, gravel, and miscellaneous subgrade material as needed.
-  Tree Protection Fence
-  Item to be removed
-  Silt Fence
-  Construction Fence
-  Item to be protected
-  Limits of construction



**It's smart. It's free. It's the law.**

**Call before you dig.**

**800.892.0123**

**JULIE**  
ILLINOIS ONE-CALL SYSTEM

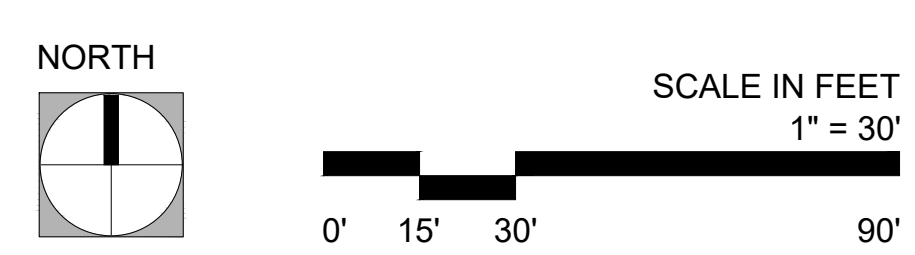
DATE = 05/30/2023	DESIGNED — MGM	REVISED —
SCALE = 1"=30'	CHECKED — EFH	REVISED —
PROJECT NO = ---	DRAWN — CNO	REVISED —
FILE NAME = L2.0 Site Preparation and Removals	APPROVED —	REVISED —



CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
SITE PREPARATION AND REMOVALS PLAN

VILLAGE  
of  
GILBERTS

SHEET NO.  
L2.0



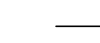


LAST SAVED BY: MGOSHORN-MARONEY ON 5/30/23  
PLOTTED BY: MONICA GOSHORN-MARONEY ON 5/31/23



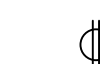
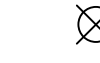
**LAYOUT NOTES**

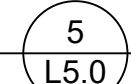
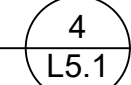
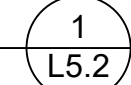
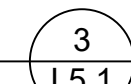

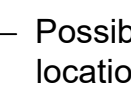
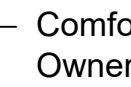
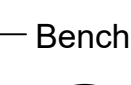
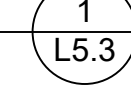
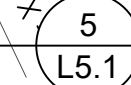
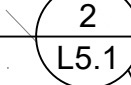
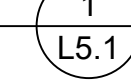
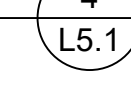
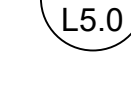
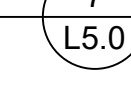
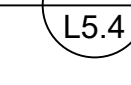
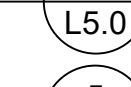
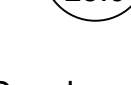
1. Contractor responsible for field layout of all new improvements. Digital files of geometric information will be provided upon request in AutoCAD format. No additional payment will be made for adjustments necessary to construct the work as drawn.
2. Contractor responsible to coordinate work in order to obtain approval of all layout by Owners Representative prior to construction. No additional payment will be made to correct work if constructed incorrectly without pre-approval by Owners Representative.
3. Contractor responsible to maintain all layout stakes during construction. No additional payment will be made to replace layout stakes.
4. Place stakes at edges of sport courts, fields, limits of playground, shelter, and every 25 feet on center along centerline of all pathways for review by the Owner's Representative prior to earthwork operations.
5. All walls are dimensioned to Face of Wall unless otherwise noted.
6. All dimensions from roadway are from Back of Curb unless otherwise noted.
7. All curves and radii to be smooth and not segmented.
8. Contractor to provide layout stakes every 10 feet minimum for large arcs where radius points are not accessible.
9. Adjustment to stake locations due to discrepancies between coordinates and dimensions is incidental to the contract. No additional payments will be made for this work.
10. All roadway widths are measured from edge of pavement to edge of pavement unless otherwise shown on the plans.
11. Contractor responsible to take delivery, assemble and install all materials and furnishings per manufacturer's instructions.
12. Place control and expansion joints as shown on plans and details for all curbs, walks, walls, steps, and concrete paving. Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 30 feet on center, and between all separate pours.
13. Contractor will maintain use zone requirements within soft surfacing; no use zone will overlap or be tangent unless noted. Adjust playground barrier curb and/or adjacent paving as needed to accommodate play equipment fall zones.
14. Coordinate location of storm line with playground footings and obtain Owner's approval prior to installation.
15. Layout of soft surface shall be verified in field by landscape architect.
16. Refer to specifications for additional conditions, standards and notes.

**LAYOUT LEGEND**

-  Expansion Joint
-  Asphalt Paving
-  Concrete Paving

**ELECTRICAL LEGEND (ALTERNATE)**

-  Duplex Receptacle Outlet
-  Shelter Light

-  EXPANSION JOINT L5.0
-  SINGLE SWING GATE - 10' HT. L5.1
-  TENNIS & PICKLEBALL LAYOUT L5.2
-  DOUBLE SWING GATE L5.1
-  Bench, by Owner.
-  Possible electric service location.
-  Comfort stations, by Owner.
-  Bench, by Owner.
-  BOCCIE LAYOUT L5.3
-  CHAINLINK FENCE - 10' HEIGHT L5.1
-  FENCE FOOTING AT COURTS L5.1
-  SPORT COURT PAVING L5.1
-  SINGLE SWING GATE - 10' HT. L5.1
-  CONCRETE PAVING - PEDESTRIAN L5.0
-  SHELTER FOOTING L5.0
-  SHELTER STRUCTURE L5.4
-  CONTROL JOINT L5.0
-  EXPANSION JOINT L5.0

Fence, by Developer.

**It's smart. It's free. It's the law.**

**Call before you dig.**

**800.892.0123**

**JULIE**  
ILLINOIS ONE-CALL SYSTEM

DATE = 05/30/2023  
SCALE = 1" = 30'  
PROJECT NO = ---  
FILE NAME = Layout and Materials Plan

DESIGNED	MGM	REVISED	---
CHECKED	EFH	REVISED	---
DRAWN	CNO	REVISED	---
CHECKED	---	REVISED	---



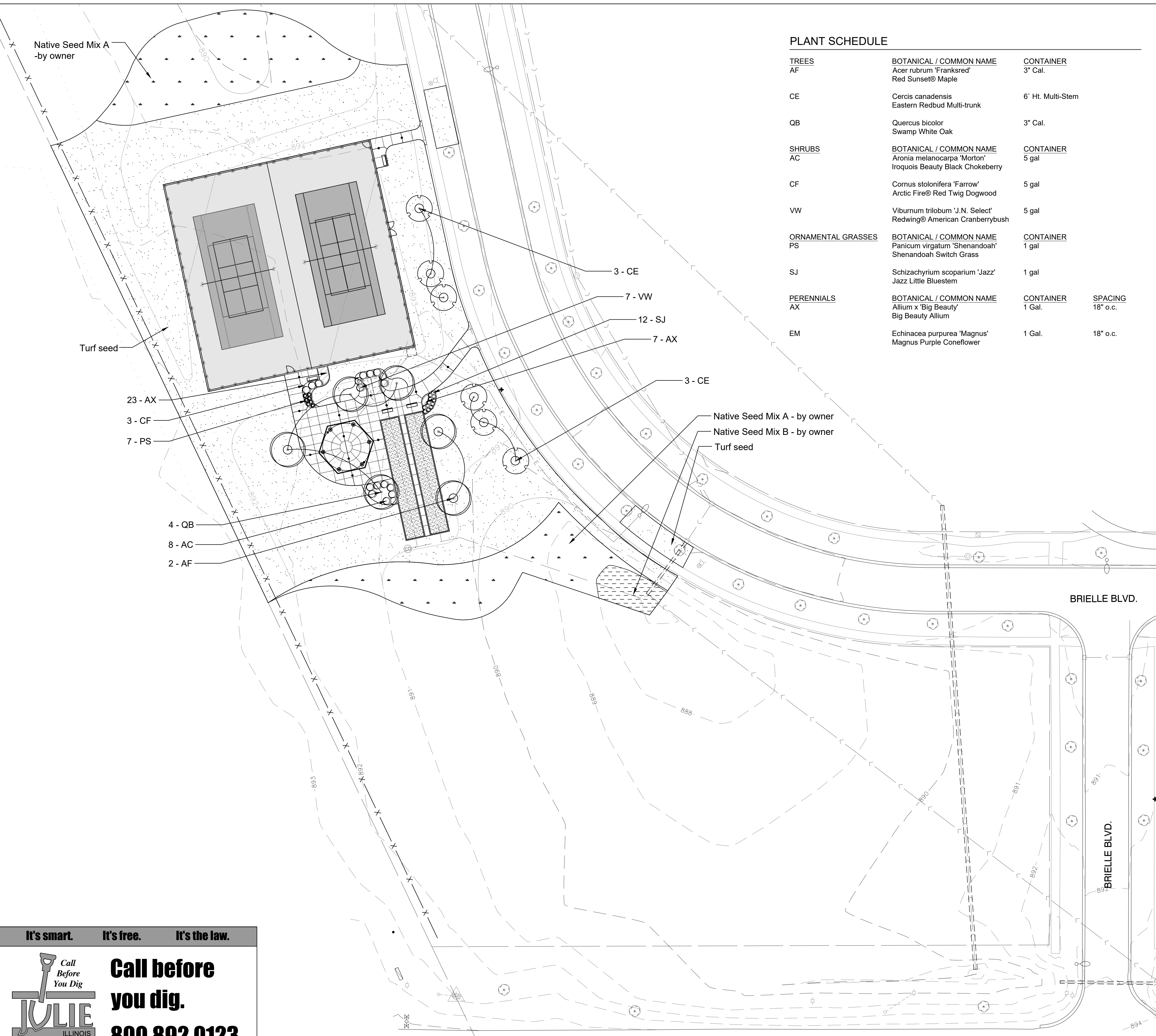
CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
LAYOUT AND MATERIALS PLAN

VILLAGE  
of  
GILBERTS

SHEET NO.  
L3.0

LAST SAVED BY: MGOSHORN-MARONEY ON 5/30/23  
PLOTTED BY: MONICA GOSHORN-MARONEY ON 5/31/23





**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONTAINER	
AF	Acer rubrum 'Franksred' Red Sunset® Maple	3" Cal.	
CE	Cercis canadensis Eastern Redbud Multi-trunk	6" Ht. Multi-Stem	
QB	Quercus bicolor Swamp White Oak	3" Cal.	
SHRUBS	BOTANICAL / COMMON NAME	CONTAINER	
AC	Aronia melanocarpa 'Morton' Iroquois Beauty Black Chokeberry	5 gal	
CF	Cornus stolonifera 'Farrow' Arctic Fire® Red Twig Dogwood	5 gal	
VW	Viburnum trilobum 'J.N. Select' Redwing® American Cranberrybush	5 gal	
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	CONTAINER	
PS	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 gal	
SJ	Schizachyrium scoparium 'Jazz' Jazz Little Bluestem	1 gal	
PERENNIALS	BOTANICAL / COMMON NAME	CONTAINER	SPACING
AX	Allium x 'Big Beauty' Big Beauty Allium	1 Gal.	18" o.c.
EM	Echinacea purpurea 'Magnus' Magnus Purple Coneflower	1 Gal.	18" o.c.

**COVER CROP - BY OWNER**

Scientific Name	Common Name	LB/Acre
Avena sativa	Seed oats	32
Lolium multiflorum	Annual rye grass	6
<b>Total LB/Acre:</b>		<b>38</b>

**NATIVE SEED MIX A - BY OWNER**

CODE	SCIENTIFIC NAME	COMMON NAME	LB/ACRE
BOUCUR	Bouteloua curtipendula	Side-oats Grama	8.00
CBKCK	Carex bicknellii	Copper-shouldered Oval Sedge	0.38
CBREV	Carex brevior	Plains Oval Sedge	0.25
CMOLE	Carex molesta	Field Oval Sedge	0.25
ELYCAN	Elymus canadensis	Canada Wild Rye	2.00
JUNDUD	Juncus dudleyi	Dudley's Rush	0.01
PANVIR	Panicum virgatum	Switch Grass	0.50
SCHSCO	Schizachyrium scoparium	Little Bluestem	3.00
			<b>14.258</b>

CODE	SCIENTIFIC NAME	COMMON NAME	LB/ACRE
ALLCER	Allium cernuum	Nodding Onion	0.19
AMOCAN	Amaranthus canescens	Leaf Plant	0.13
ASCTUB	Asclepias tuberosa	Butterfly Weed	1.00
BAPALB	Baptisia alba	White Wild Indigo	0.16
CHAFAS	Chamaecrista fasciculata	Partridge Pea	1.00
CORLAN	Coreopsis lanceolata	Sand Coreopsis	0.38
CORPAL	Coreopsis palmata	Prairie Coreopsis	0.25
DALPUR	Dalea purpurea	Purple Prairie Clover	0.50
ECHPAL	Echinacea pallida	Pale Purple Coneflower	1.00
ECHPUR	Echinacea purpurea	Purple Coneflower	0.38
ERYLUC	Eryngium yuccifolium	Rattlesnake Master	0.25
EUPCOR	Euphorbia corollata	Flowering Spurge	0.25
HELHEL	Helopsis helianthoides	Early Sunflower	0.38
LESCAP	Lespedeza capitata	Round-headed Bush Clover	0.25
LIASP	Liatris aspera	Button Blazing Star	0.19
LIAPYC	Liatris pycnostachya	Prairie Blazing Star	0.25
MONFIS	Monarda fistulosa	Wild Bergamot	0.13
PABRIT	Parthenium integrifolium	Wild Quinine	0.50
PENDIG	Penstemon digitalis	Foxglove Beardtongue	0.13
PYCTEN	Pycnanthemum tenuifolium	Slender Mountain Mint	0.02
RATPIN	Ratibida pinnata	Yellow Coneflower	0.25
RUDFUL	Rudbeckia fulgida	Orange Coneflower	0.25
RUDHIR	Rudbeckia hirta	Black-eyed Susan	0.50
SOLJUN	Solidago juncea	Early Goldenrod	0.03
SOLRIG	Solidago rigida	Stiff Goldenrod	0.06
SYMERIC	Symphyotrichum ericoides	Heath Aster	0.06
SYMIAE	Symphyotrichum laeve	Smooth Blue Aster	0.06
SYMNOV	Symphyotrichum novae-angliae	New England Aster	0.03
TRACHH	Tradescantia ohniensis	Ohio Spiderwort	0.50
VERSTR	Verbena stricta	Hoary Vervain	0.13
ZIZAUR	Zizia aurea	Golden Alexanders	1.00

**NATIVE SEED MIX B - BY OWNER**

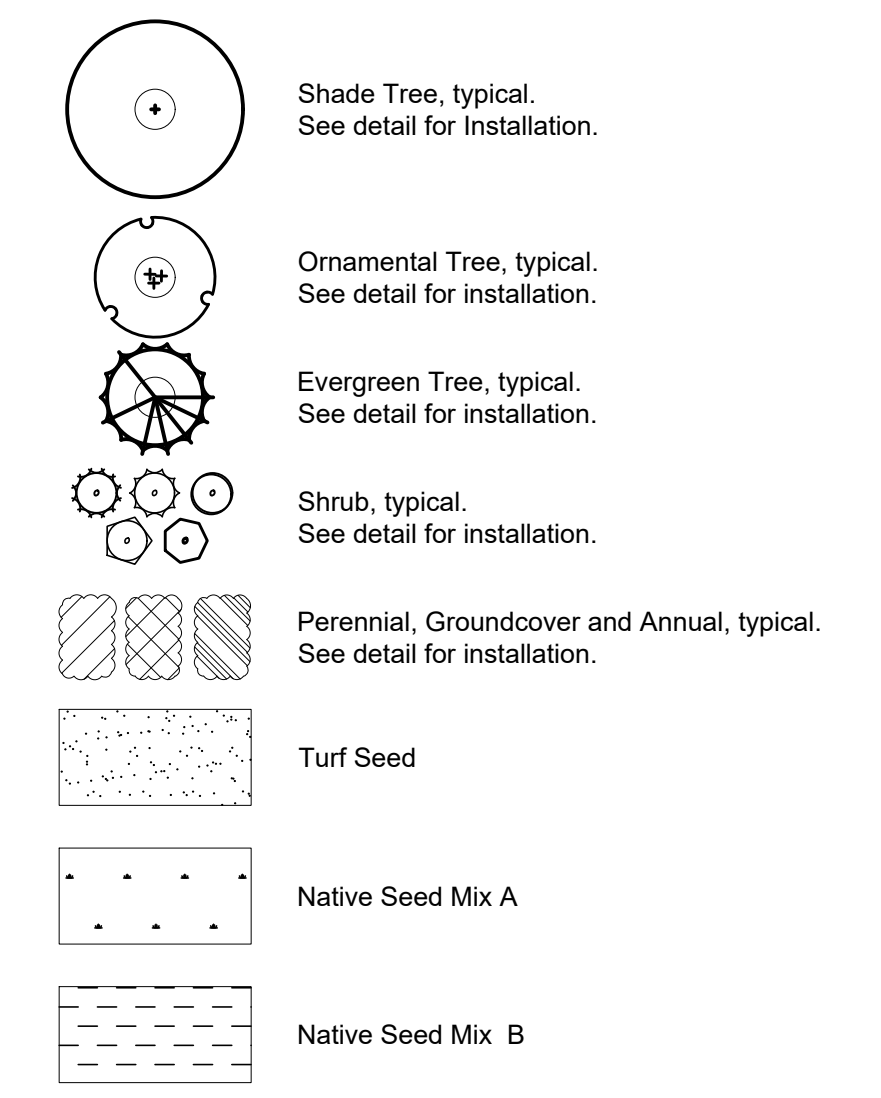
CODE	SCIENTIFIC NAME	COMMON NAME	LB/ACRE
CALCAN	Calamagrostis canadensis	Blue Joint Grass	0.05
CBREV	Carex brevior	Plains Oval Sedge	0.13
OCXCRIS	Carex cristatella	Crested Oval Sedge	0.09
CMOLE	Carex molesta	Field Oval Sedge	0.25
CXSOP	Carex scoparia	Lance-fruited Oval Sedge	0.13
CXSTIP	Carex stipata	Common Fox Sedge	0.13
CXVULP	Carex vulpina	Brown Fox Sedge	0.25
ELEPAL	Eleocharis palustris	Great Spike Rush	0.06
ELYVIR	Elymus virginicus	Virginia Wild Rye	3.00
GLYSTR	Glyceria striata	Fowl Manna Grass	0.13
JUNDUD	Juncus dudleyi	Dudley's Rush	0.06
PANVIR	Panicum virgatum	Switch Grass	1.00
SCIATR	Scirpus atrovirens	Dark-green Bulrush	0.01
SPAPEC	Spartina pectinata	Cord Grass	2.00
			<b>7.273</b>

CODE	SCIENTIFIC NAME	COMMON NAME	LB/ACRE
ALLCER	Allium cernuum	Nodding Onion	0.75
ASCINC	Asclepias incarnata	Swamp Milkweed	0.38
BIDCER	Bidens cernua	Nodding Bur Marigold	0.09
BOLAST	Boltonia asteroides	False Aster	0.03
CHAFAS	Chamaecrista fasciculata	Partridge Pea	1.00
CORTRI	Coreopsis tripteris	Tall Coreopsis	0.25
DESCAA	Desmodium canadense	Showy Tick Trefoil	0.19
DOELUMB	Doellingeria umbellata	Flat-topped Aster	0.09
ECHPUR	Echinacea purpurea	Purple Coneflower	0.25
ERYLUC	Eryngium yuccifolium	Rattlesnake Master	1.00
EUPPER	Eupatorium perfoliatum	Boneset	0.02
EUTGRA	Euthamia graminifolia	Grass-leaved Goldenrod	0.06
EUTMAC	Eutrochium maculatum	Spotted Joe Pye Weed	0.03
HELAUT	Helianthus autumnale	Sneezeweed	0.06
LIAPYC	Liatris pycnostachya	Prairie Blazing Star	0.38
LIASPI	Liatris spicata	Marsh Blazing Star	0.13
MONFIS	Monarda fistulosa	Wild Bergamot	0.25
PENDIG	Penstemon digitalis	Foxglove Beardtongue	0.13
PVCVIR	Pycnanthemum virginianum	Virginia Mountain Mint	0.13
RUDHIR	Rudbeckia hirta	Black-eyed Susan	0.50
RUDSUB	Rudbeckia subtomentosa	Sweet Black-eyed Susan	0.13
RUDTRI	Rudbeckia triloba	Brown-eyed Susan	0.13
SILLAC	Silphium laciniatum	Compass Plant	0.38
SILTER	Silphium terebinthinaceum	Prairie Dock	0.19
SOLRID	Solidago rigida	Riddell's Goldenrod	0.03
SOLRIG	Solidago rigida	Stiff Goldenrod	0.25
SYMNOV	Symphyotrichum novae-angliae	New England Aster	0.19
THADAS	Thalictrum dasycarpum	Purple Meadow Rue	0.13
TRACHH	Tradescantia ohniensis	Ohio Spiderwort	0.75
VERHAS	Verbena hastata	Blue Vervain	0.13
VERFAS	Vernonia fasciculata	Common Ironweed	0.06
ZIZAUR	Zizia aurea	Golden Alexanders	0.50

**PLANTING NOTES**

- Seed limit line is approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded areas.
- Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
- Bedlines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
- Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
- Payments will be made based on actual quantities installed as measured in place by the Owners Representative.
- Refer to specifications for additional conditions, standards and notes.

**PLANTING LEGEND**



**It's smart. It's free. It's the law.**

Call Before You Dig

**Call before you dig.**

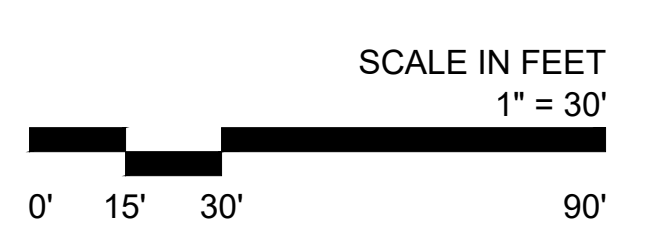
**800.892.0123**

ILLINOIS ONE-CALL SYSTEM

DATE = 05/30/2023	DESIGNED -- MGM	REVISED --
SCALE = 1" = 30'	CHECKED -- EFH	REVISED --
PROJECT NO = ---	DRAWN -- CNO	REVISED --
FILE NAME = Planting Plan	CHECKED --	REVISED --



CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
PLANTING PLAN



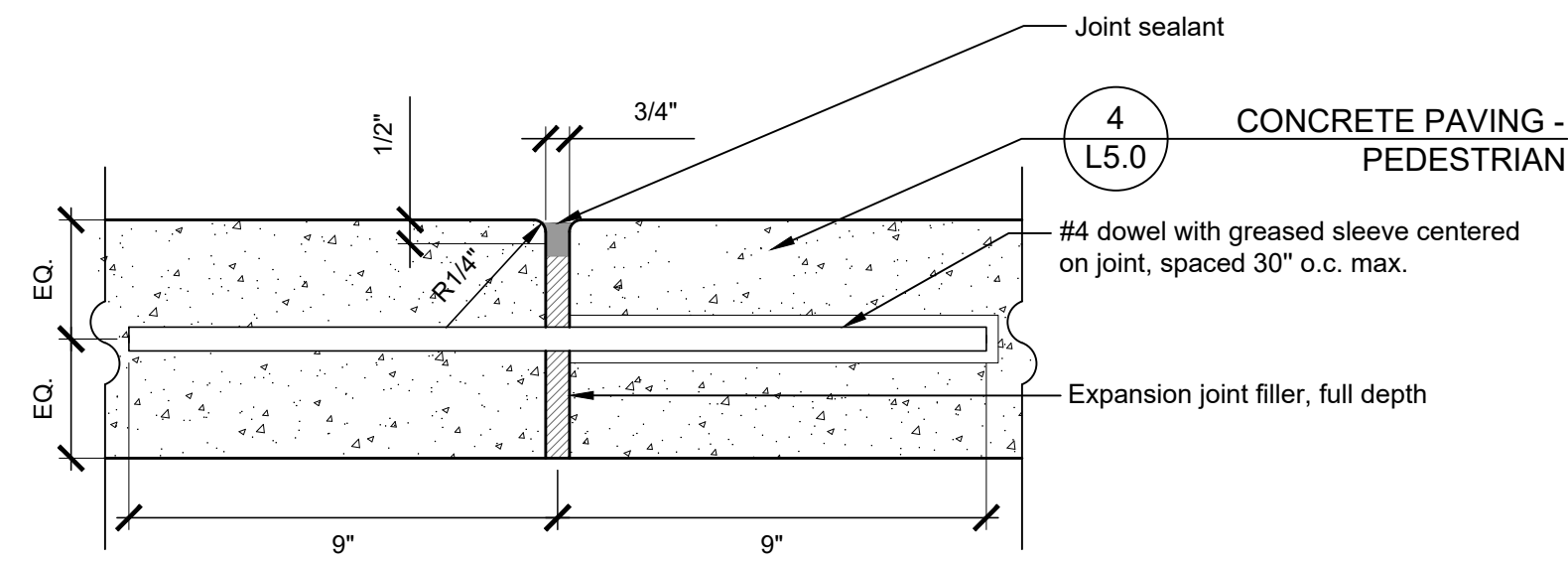
VILLAGE of GILBERTS

SHEET NO. L4.0

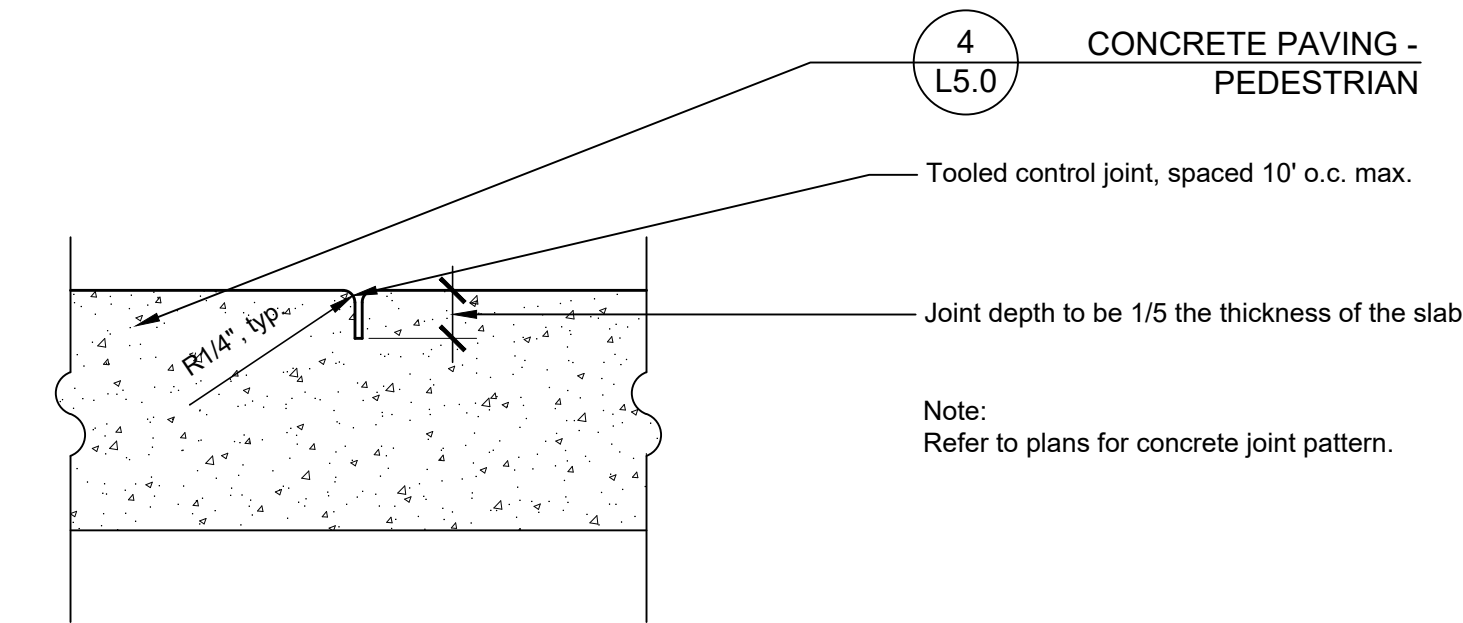


LAST SAVED BY: MGSOSHORN-MARONEY ON 5/31/23  
PLOTTED BY: MONICA GOSHORN-MARONEY ON 5/31/23

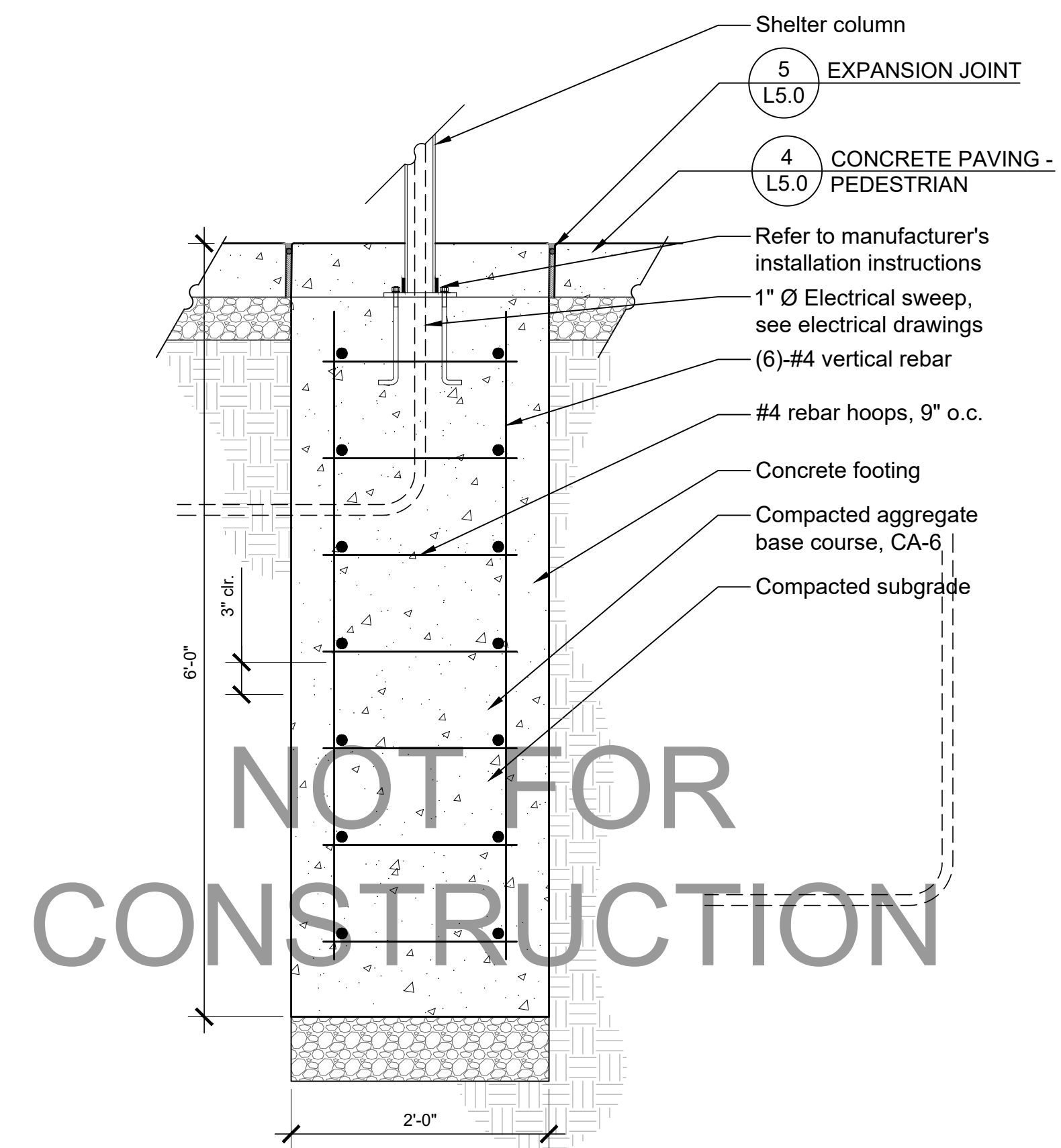




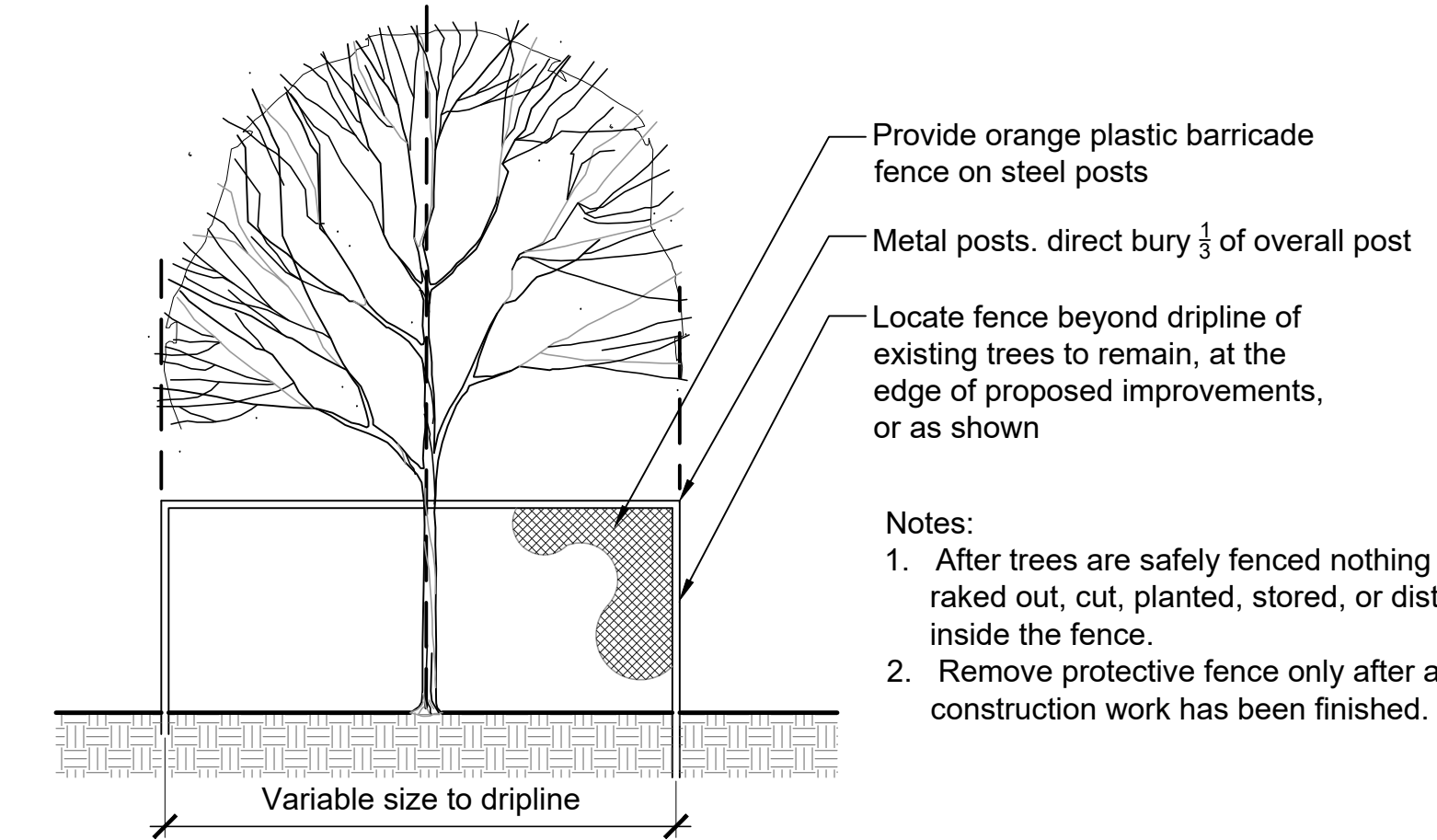
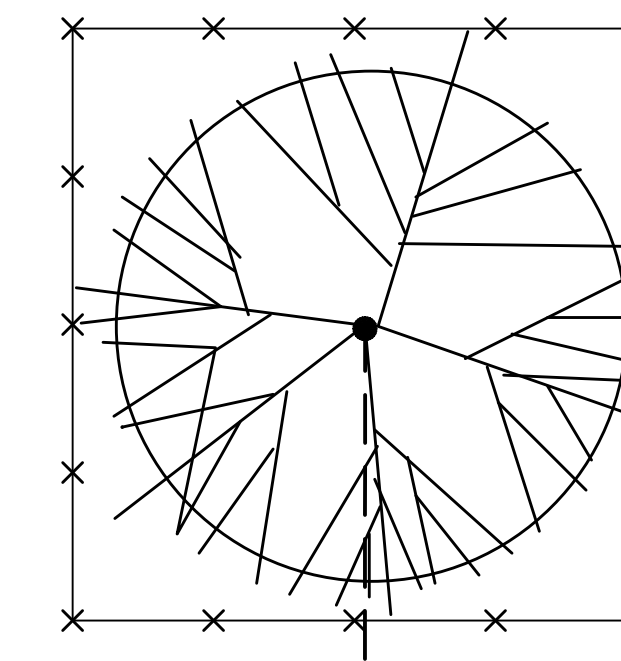
**4 EXPANSION JOINT**  
3" = 1'-0"



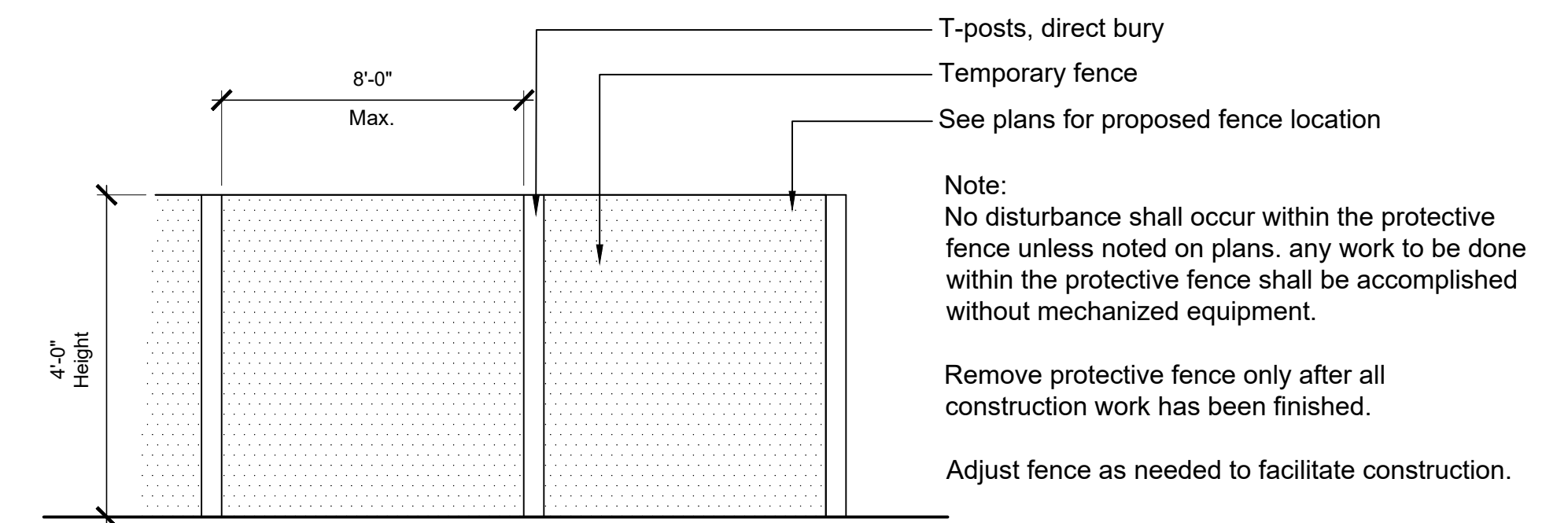
**5 CONTROL JOINT**  
3" = 1'-0"



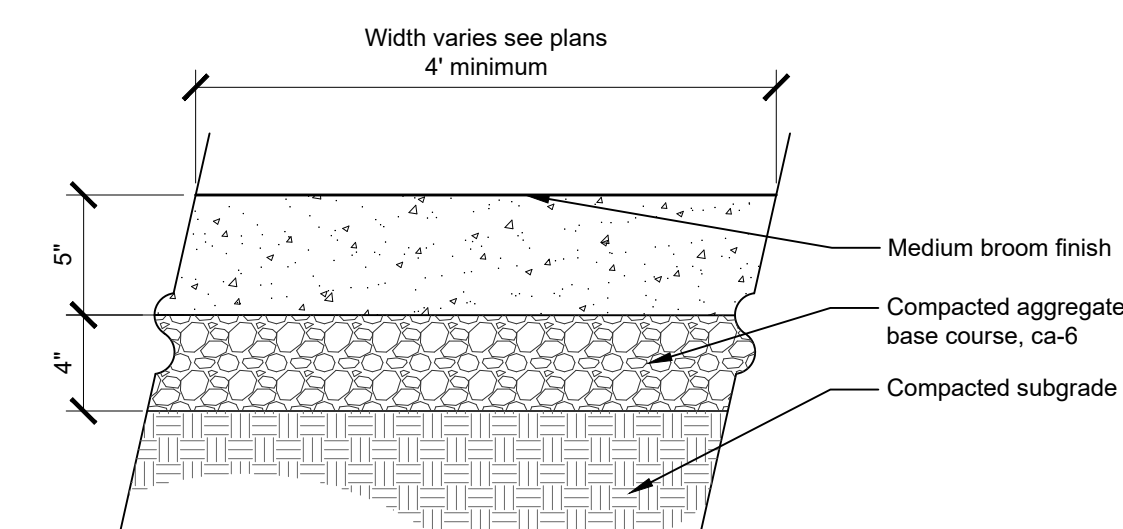
**6 SHELTER FOOTING**  
1" = 1'-0"



**1 TREE PROTECTION FENCE**  
1/2" = 1'-0"

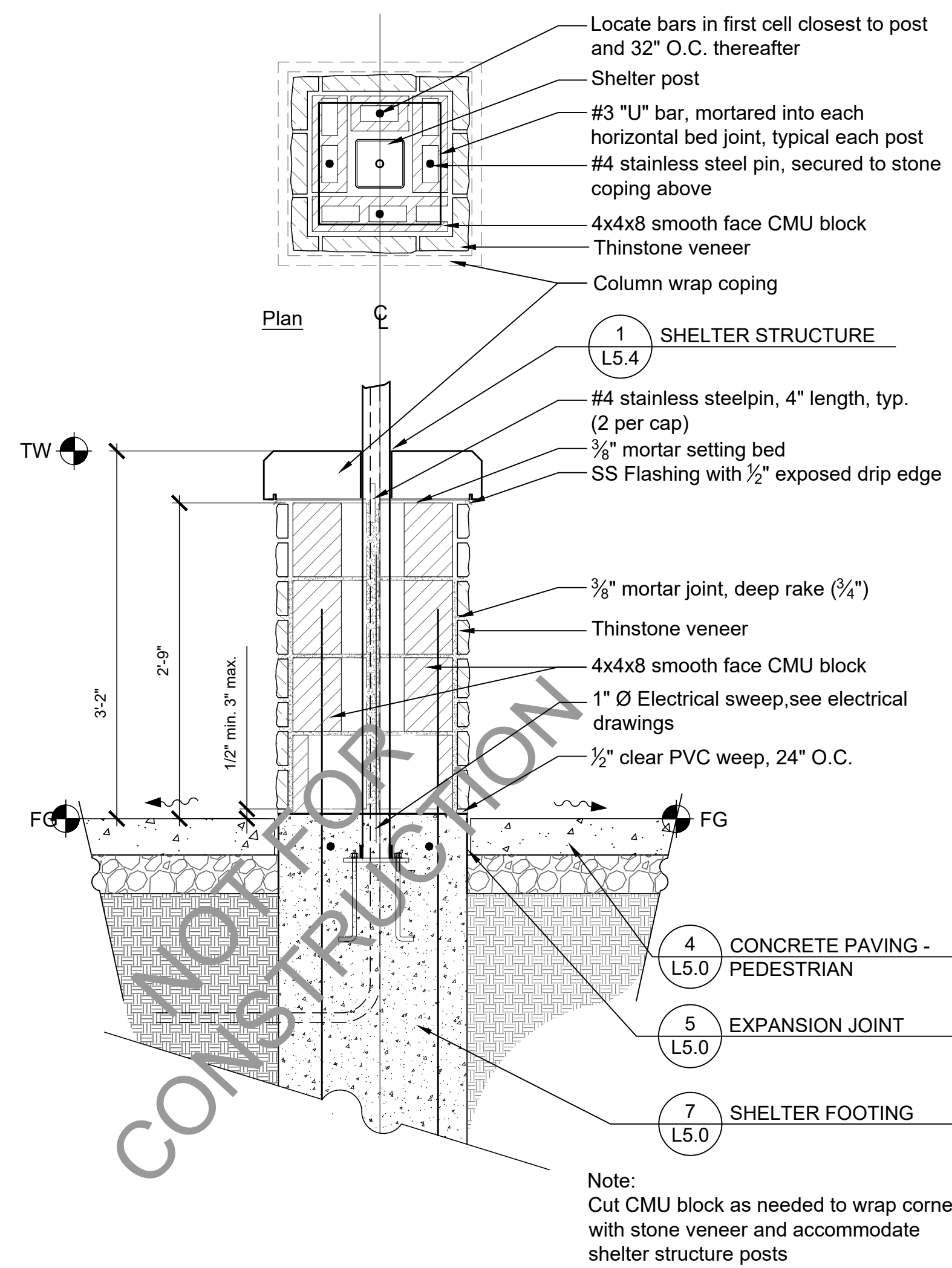


**2 TEMPORARY CONSTRUCTION FENCE**  
1/4" = 1'-0"



**3 CONCRETE PAVING - PEDESTRIAN**  
1 1/2" = 1'-0"

P-NN-VIL1-CONS-03



**7 STONE COLUMN WRAP - ALTERNATE**  
1" = 1'-0"

Note:  
Cut CMU block as needed to wrap corner with stone veneer and accommodate shelter structure posts

DATE = 05/30/2023	DESIGNED -- MGM	REVISED --
SCALE = AS NOTED	CHECKED -- EFH	REVISED --
PROJECT NO = ---	DRAWN -- CNO	REVISED --
FILE NAME = Details-L5.0 DETAILS	CHECKED --	REVISED --



CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
DETAILS

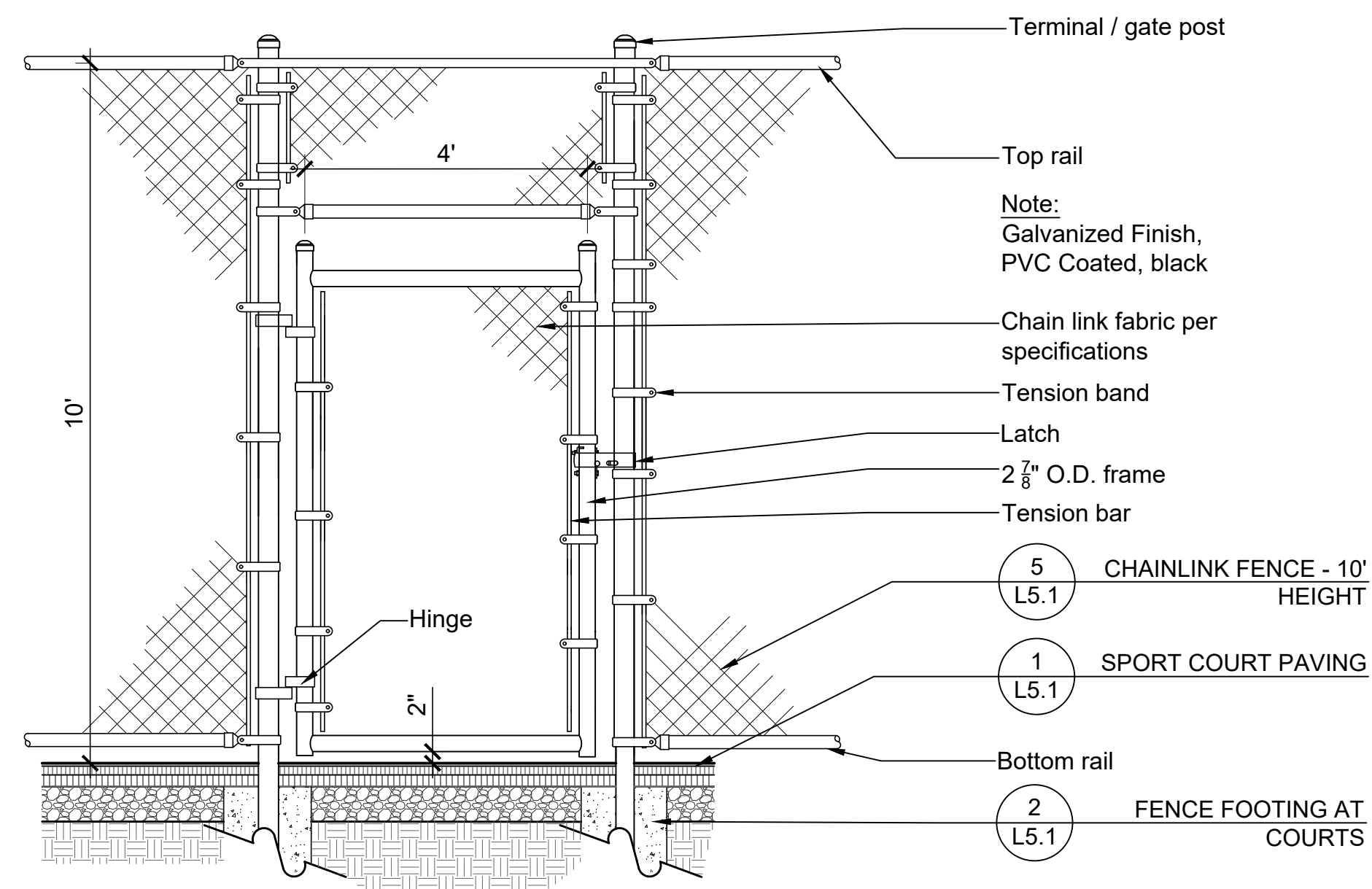
VILLAGE  
of  
GILBERTS

SHEET NO.  
L5.0



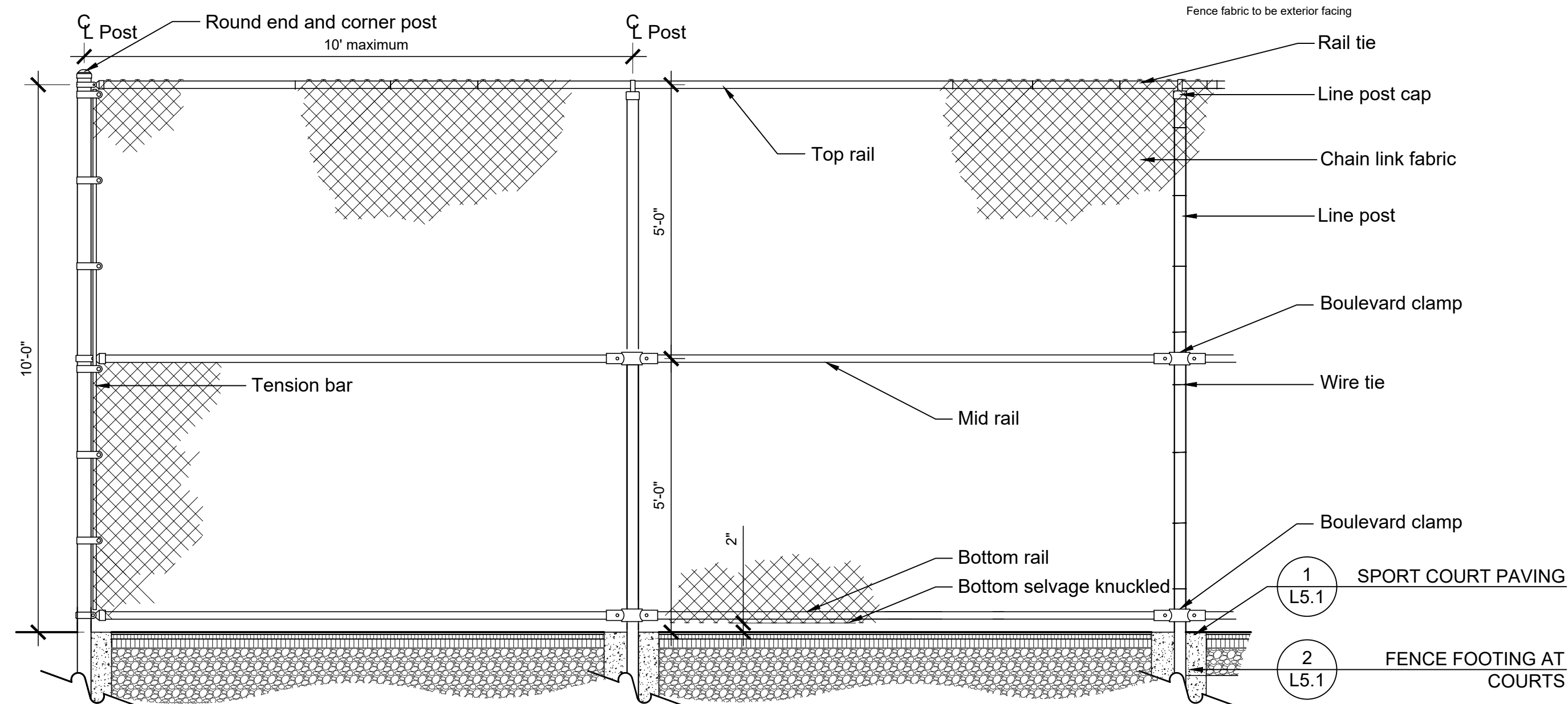
creating better places



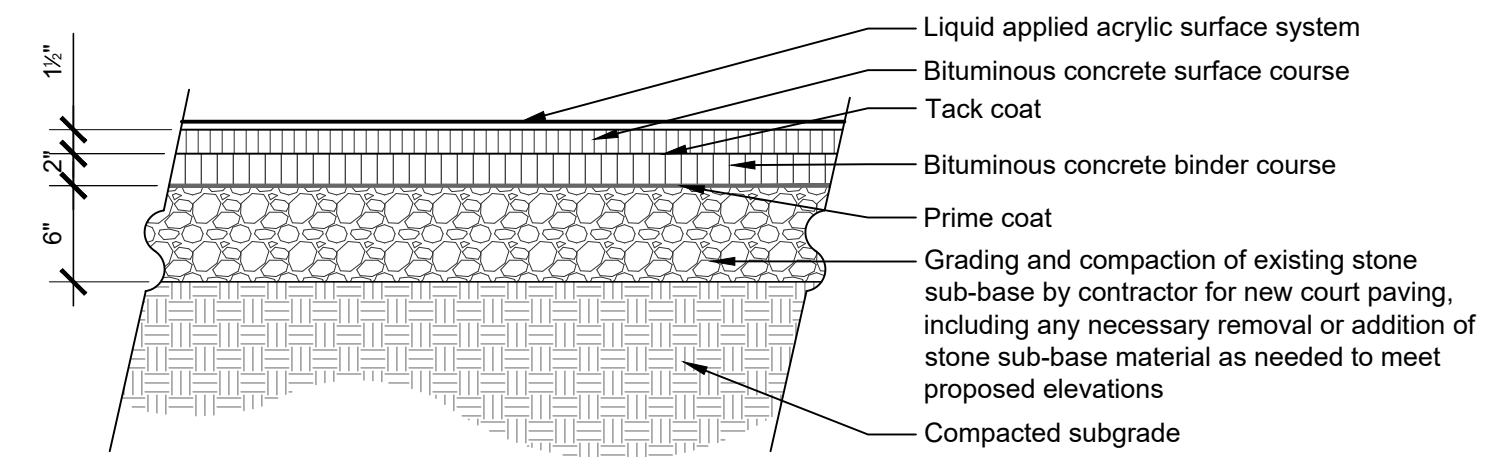


**4 SINGLE SWING GATE - 10' HT.**  
1/2" = 1'-0"

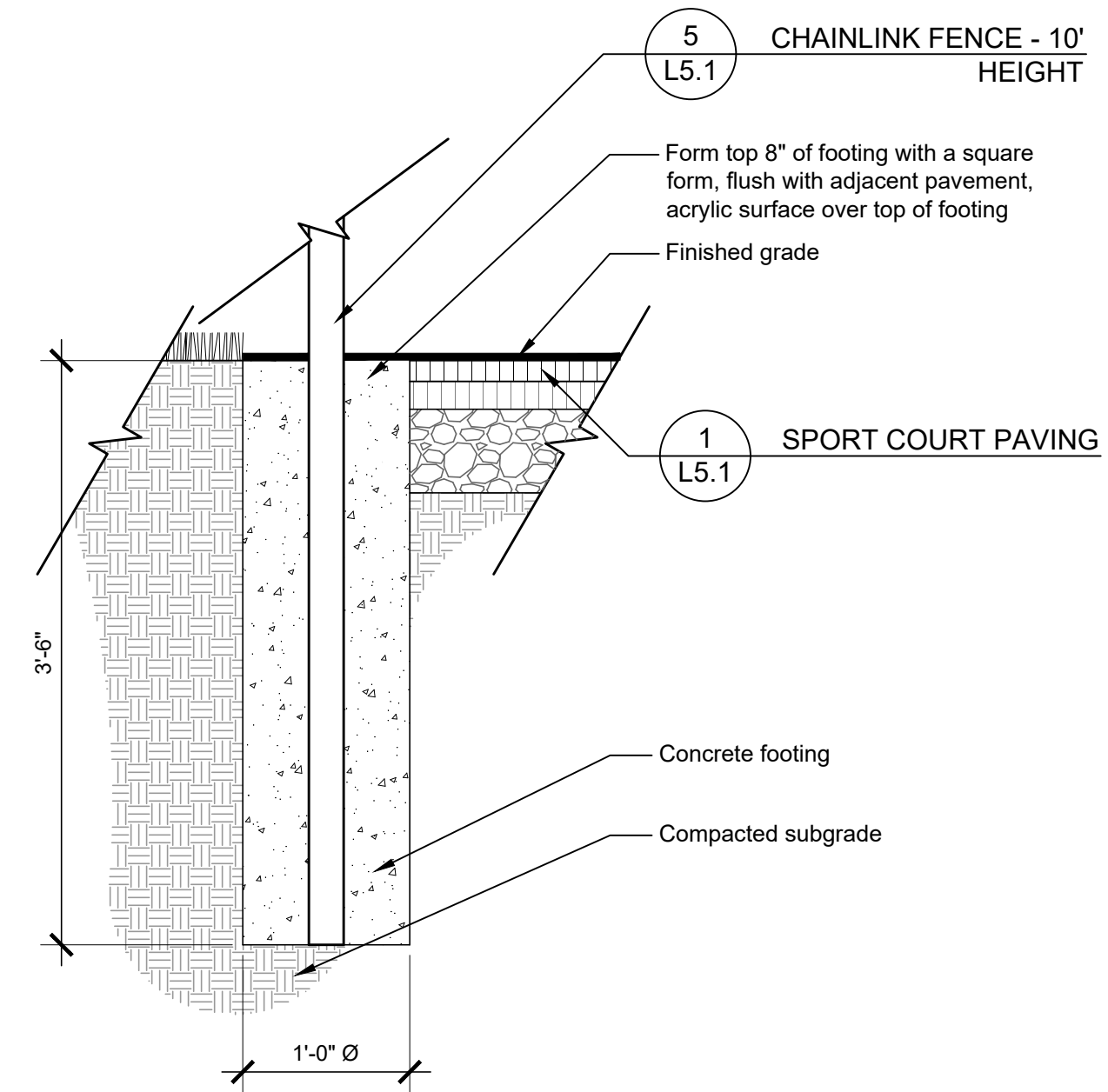
Chainlink Fence Schedule														
Height	Mid Rail Height	Fabric (Height/ Gauge/Mesh)	Fabric Selvage (top and bottom)	Footling Depth	Terminal Posts	Line Posts	Post Spacing	Top Rail	Mid Rail	Bottom Rail	Truss Rod w/ Turnbuckle	Tension Wire	PVC Coated	Post Cap
10'	5'	9GA / 1-3/4"	Knucke	42"	3"	2 7/8"	Max 8'-0" O.C.	1.66"	1.66"	1.66"	n/a	n/a	Black	Dome



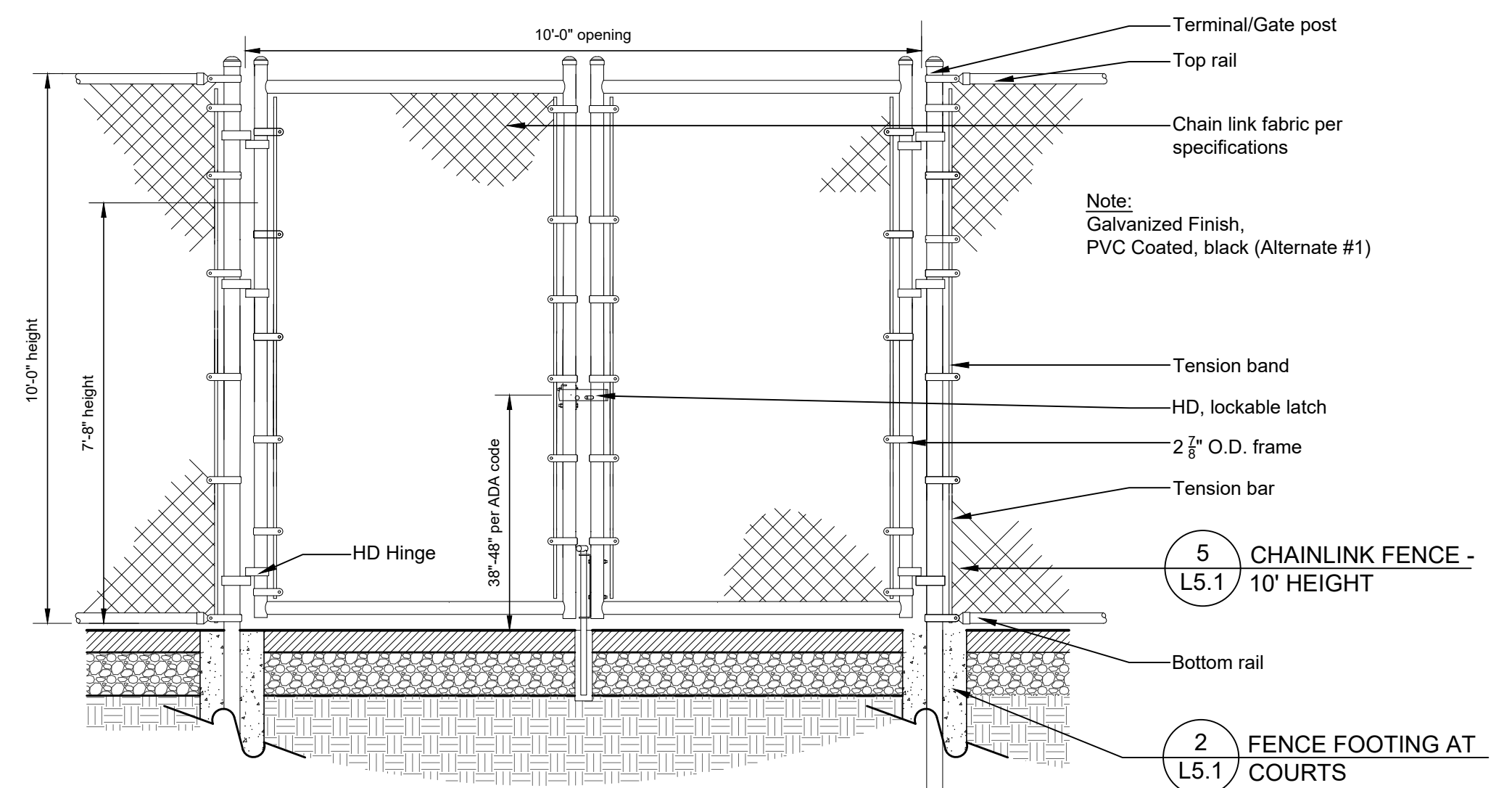
**5 CHAINLINK FENCE - 10' HEIGHT**  
1/2" = 1'-0"



**1 SPORT COURT PAVING**  
1" = 1'-0"



**2 FENCE FOOTING AT COURTS**  
1" = 1'-0"



**3 DOUBLE SWING GATE**  
1/2" = 1'-0"

DATE = 05/30/2023	DESIGNED -- MGM	REVISED --
SCALE = AS NOTED	CHECKED -- EFH	REVISED --
PROJECT NO = ---	DRAWN -- CNO	REVISED --
FILE NAME = Details-L5.1 DETAILS	CHECKED --	REVISED --

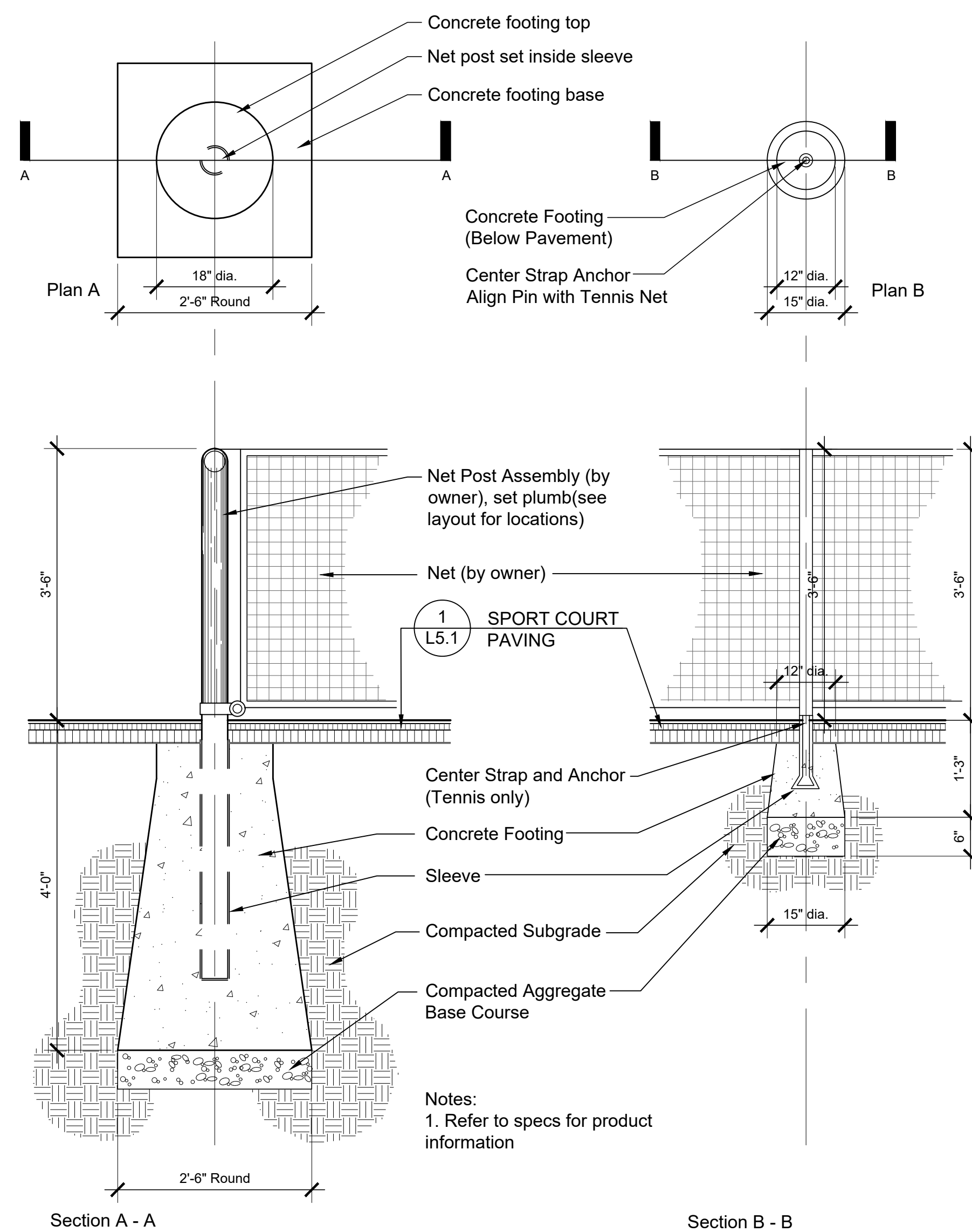


CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
DETAILS

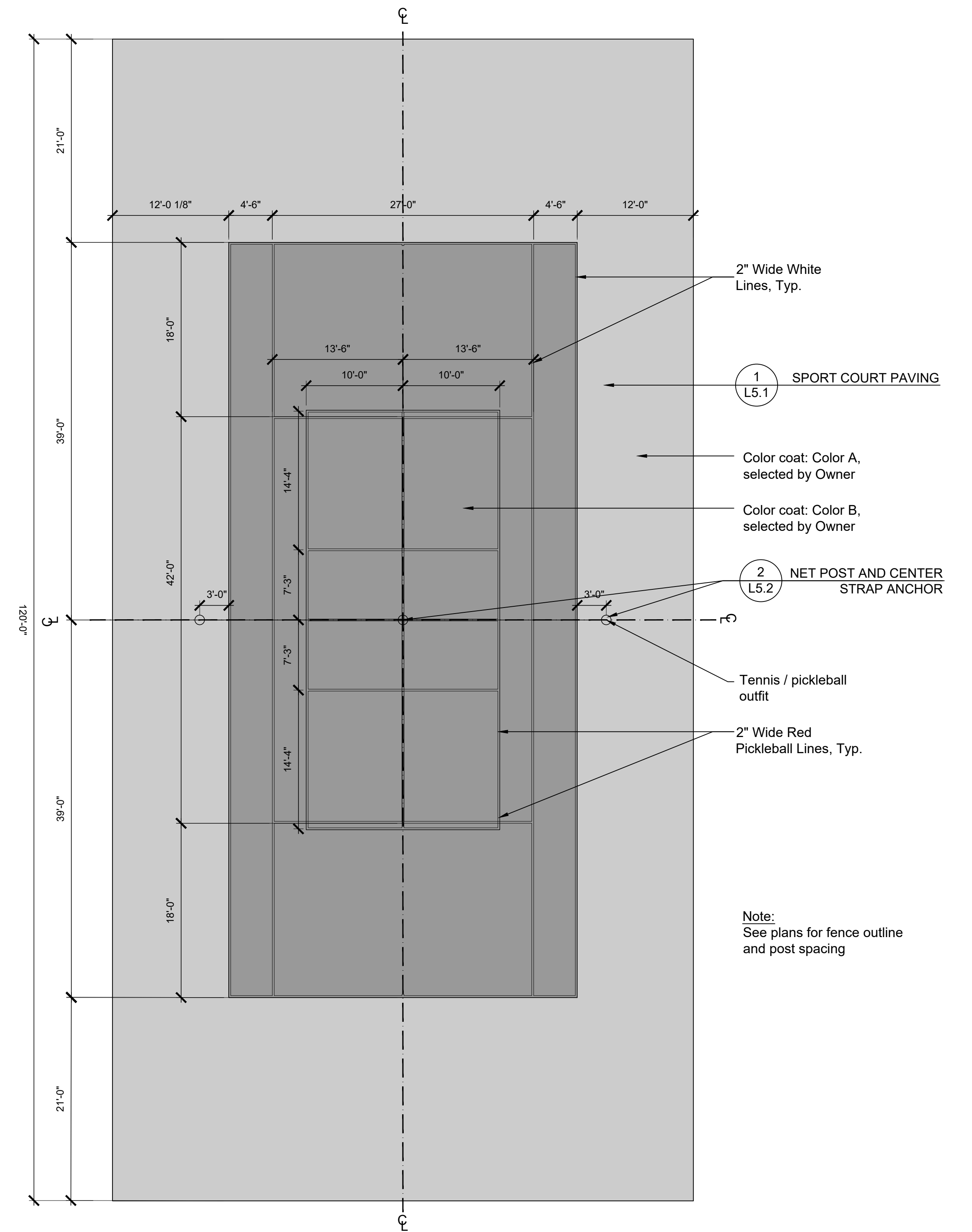
VILLAGE  
of  
GILBERTS

SHEET NO.  
L5.1





**2 NET POST FOOTING AND CENTER STRAP ANCHOR**  
3/4" = 1'-0"



**1 TENNIS & PICKLEBALL LAYOUT**  
1/8" = 1'-0"

Note:  
See plans for fence outline  
and post spacing



DATE = 05/30/2023	DESIGNED -- MGM	REVISED --
SCALE = AS NOTED	CHECKED -- EFH	REVISED --
PROJECT NO = ---	DRAWN -- CNO	REVISED --
FILE NAME = Details-L5.2 DETAILS	CHECKED --	REVISED --

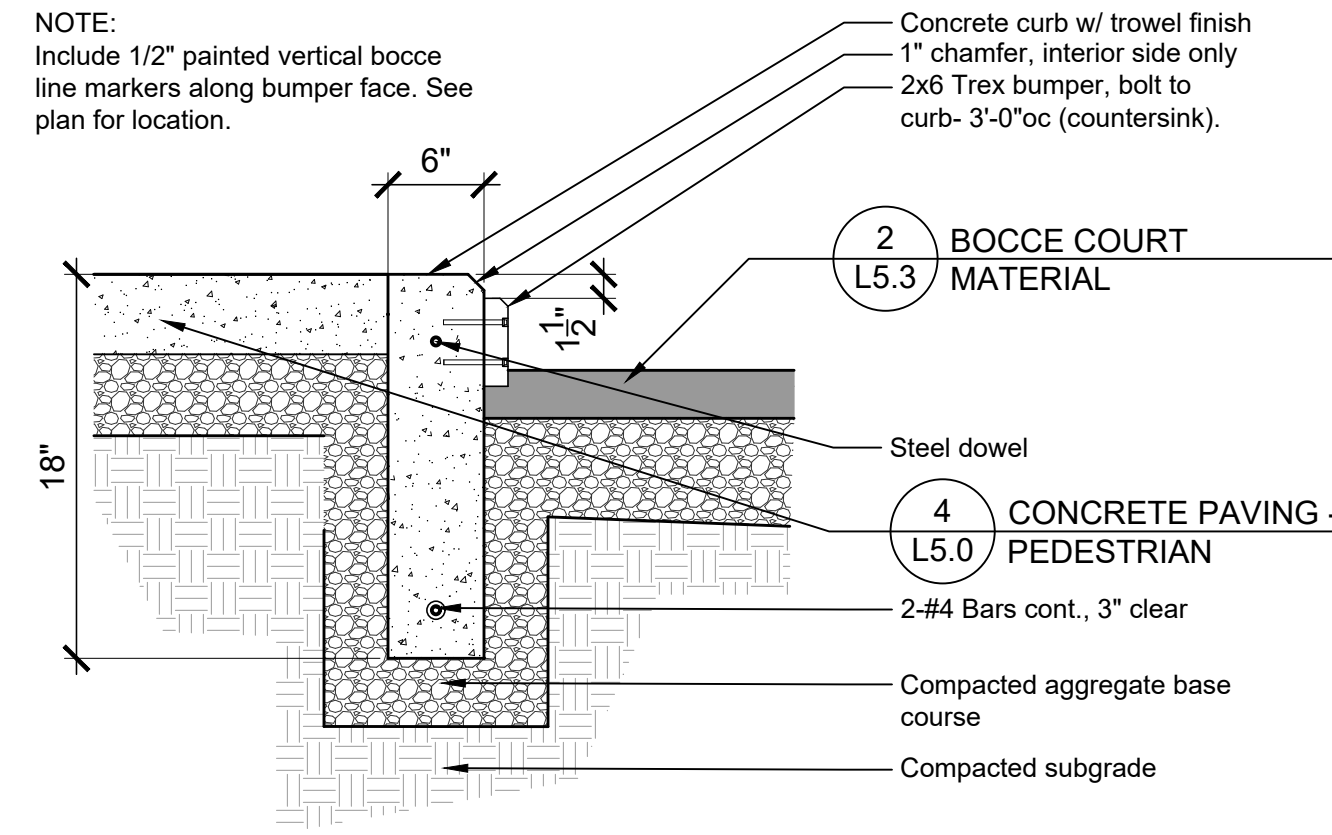


CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
DETAILS

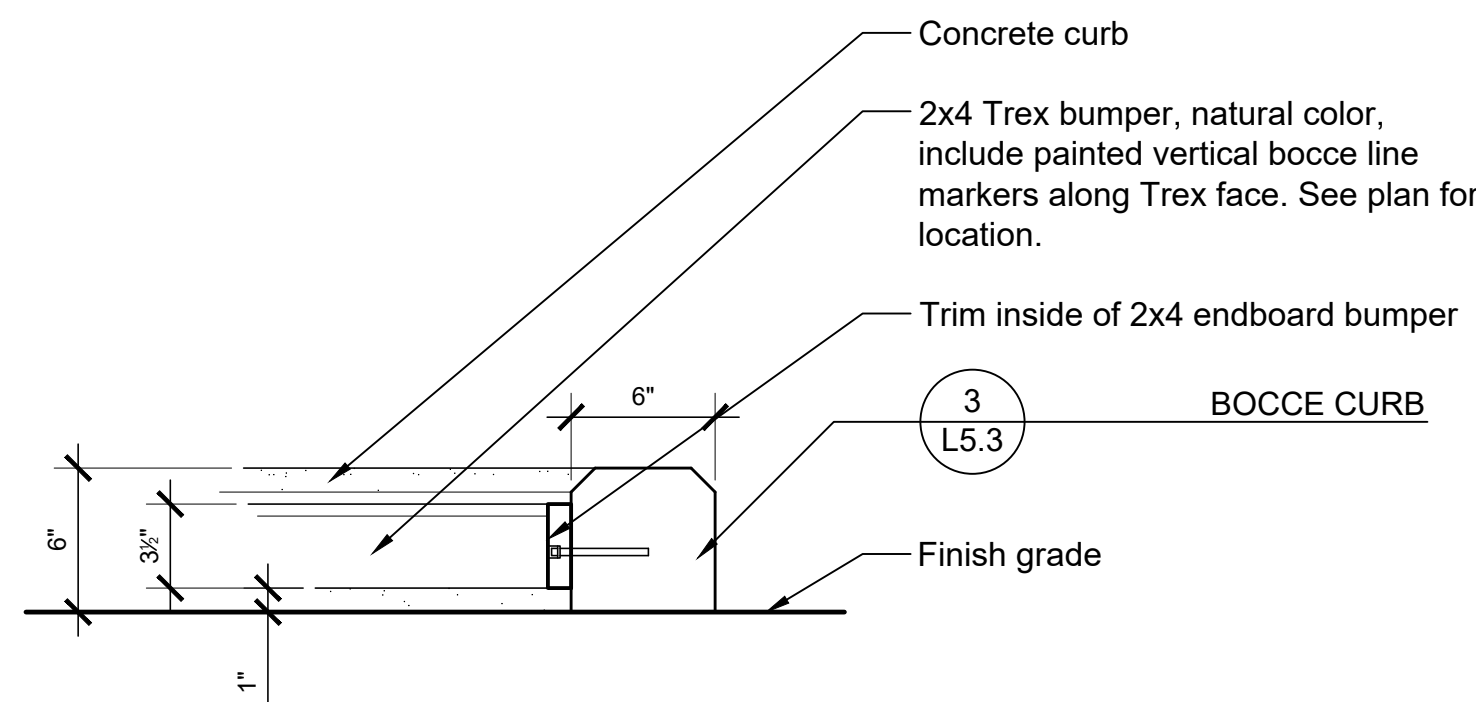
VILLAGE  
of  
GILBERTS

SHEET NO.  
L5.2

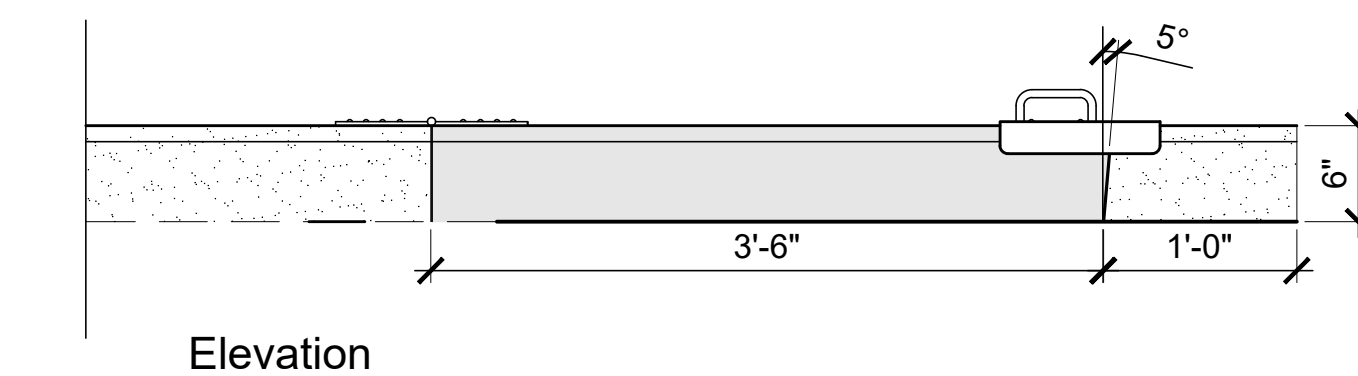
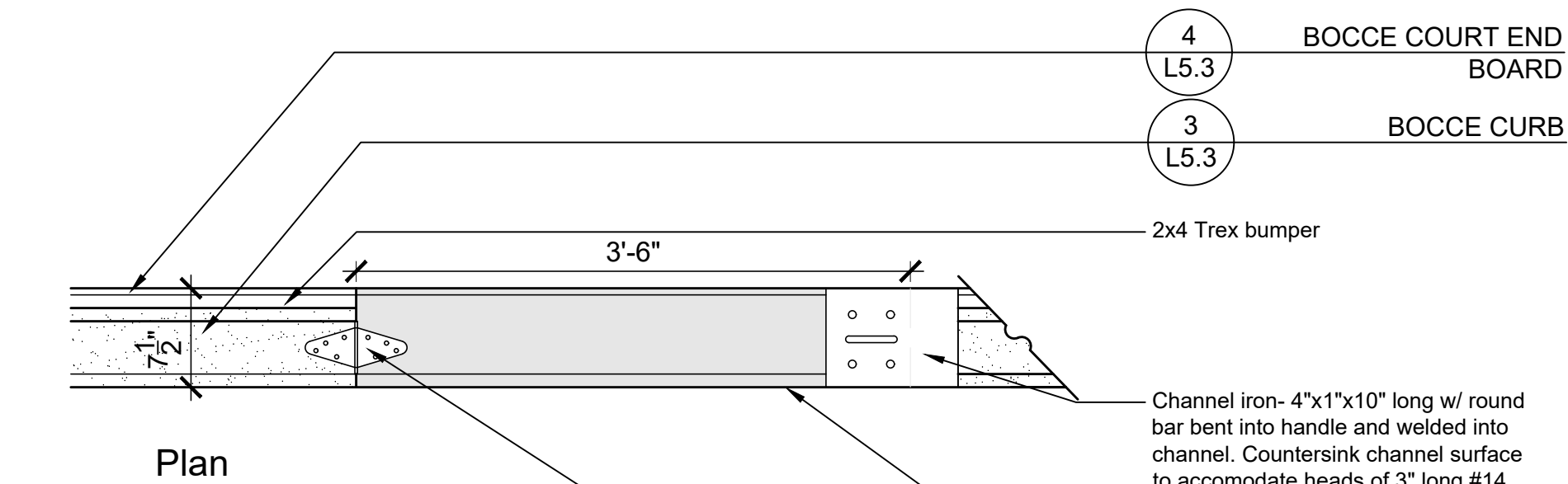
LAST SAVED BY: MGOSHORN-MARONEY ON 5/30/23  
PLOTTED BY: MONICA GOSHORN-MARONEY ON 5/31/23



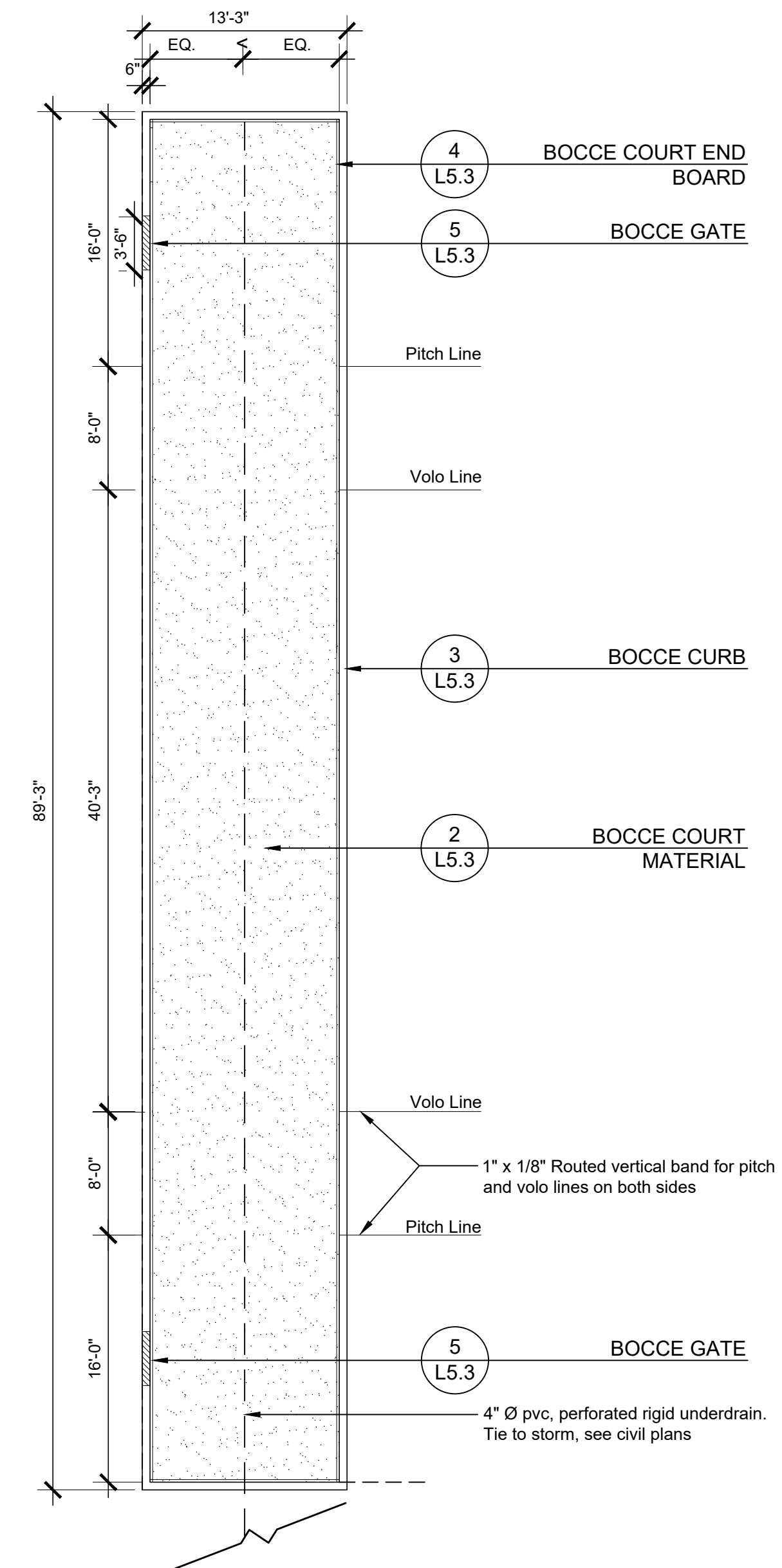
**3 BOCCE CURB**  
1" = 1'-0"



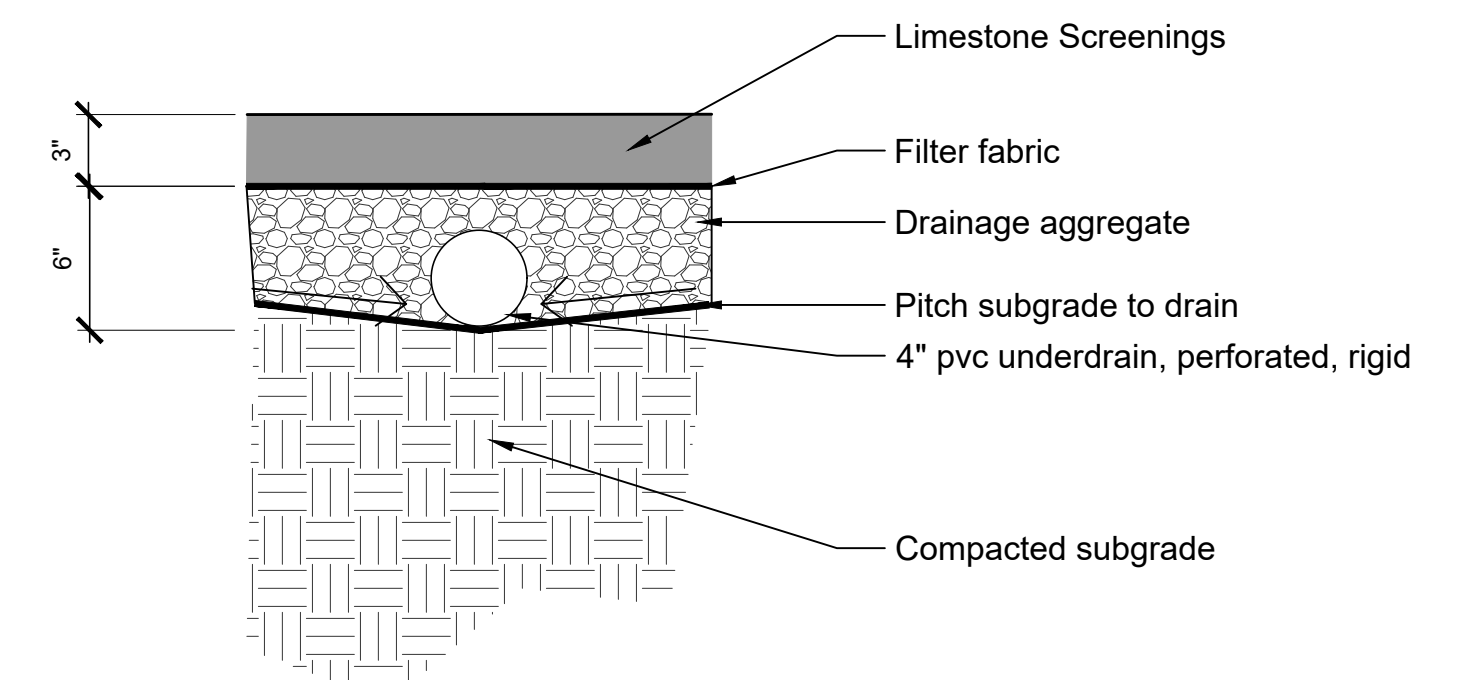
**4 BOCCE COURT END BOARD**  
1 1/2" = 1'-0"



**5 BOCCE GATE**  
1" = 1'-0"



**1 BOCCE LAYOUT**  
1/8" = 1'-0"



**2 BOCCE COURT MATERIAL**  
1 1/2" = 1'-0"

DATE = 05/30/2023	DESIGNED -- MGM	REVISED --
SCALE = AS NOTED	CHECKED -- EFH	REVISED --
PROJECT NO = ---	DRAWN -- CNO	REVISED --
FILE NAME = Details-L5.3 DETAILS	CHECKED --	REVISED --

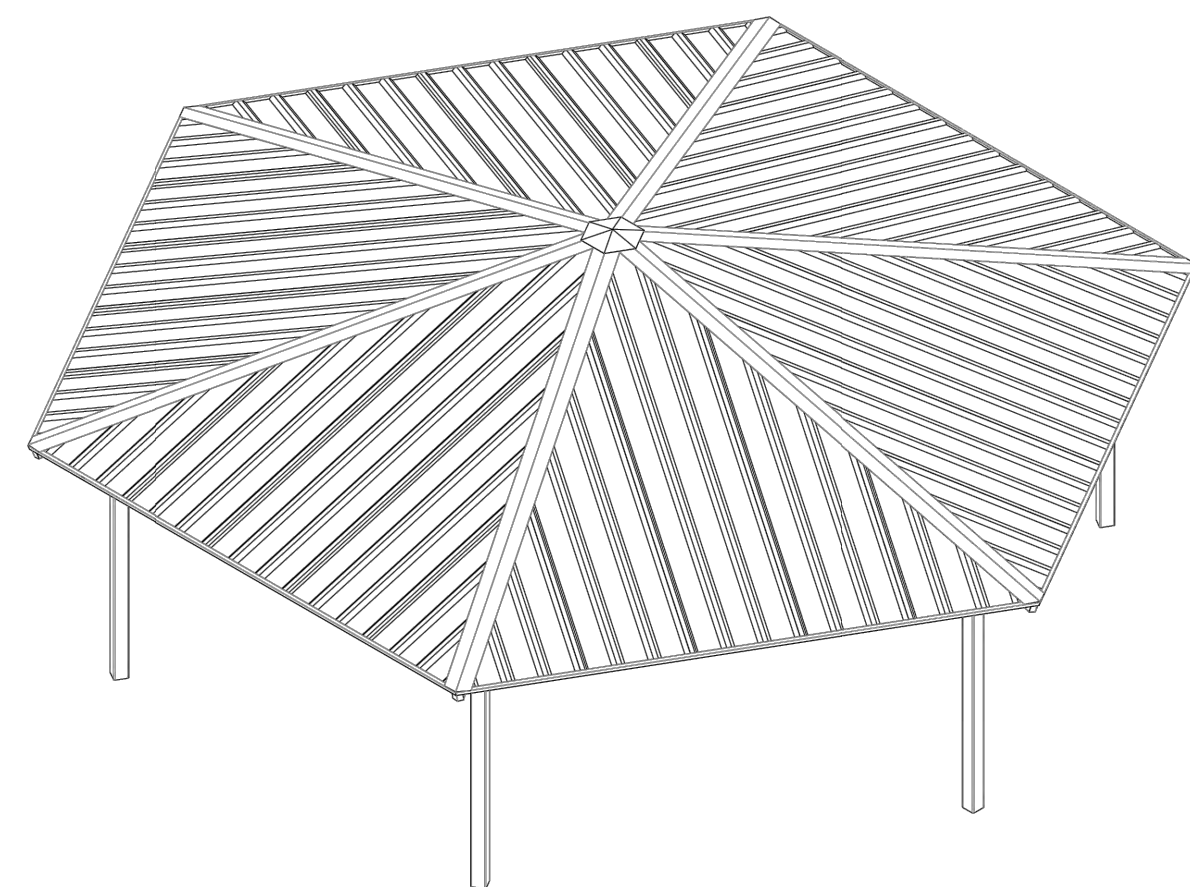


# poligon®

PROJECT: \_\_\_\_\_  
 LOCATION: \_\_\_\_\_  
 BUILDING TYPE: HXE-32  
 ROOF TYPE: MULTI-RIB

**DRAWING LIST:**

SHEET NUMBER	DRAWING DESCRIPTION
CS	COVER SHEET
1	ARCHITECTURAL ELEVATIONS
2	STRUCTURAL FRAMING PLAN
3	COLUMN LAYOUT



**FABRICATOR APPROVALS:**  
 CITY OF PHOENIX, AZ APPROVED FABRICATOR #038-2010  
 CITY OF LOS ANGELES, CA APPROVED FABRICATOR #1598  
 CITY OF RIVERSIDE, CA APPROVED FABRICATOR #SP06-0033  
 CITY OF HOUSTON, TX APPROVED FABRICATOR #1170  
 CLARK COUNTY, NV APPROVED FABRICATOR #254  
 STATE OF UTAH APPROVED FABRICATOR 0208-14

**CERTIFICATES:**  
 MINNEAPOLIS COUNTY CERTIFICATE OF COMPETENCY NO. 13-0813-16  
 PCI (POWDER COATING INSTITUTE) 4000 CERTIFIED

**MATERIALS:**

DESCRIPTION	ASTM DESIGNATION
TUBE STEEL	A501 (GRADE B)
SCHEDULE PIPE	A53 (GRADE B)
RIFT PIPE	A518
LIGHT GAUGE COLD FORMED STRUCTURAL STEEL PLATE	A1033 (GRADE 50)
ROOF PANELS (STEEL)	A58
	A653

**GENERAL NOTES:**  
 UNLESS NOTED OTHERWISE, THIS STRUCTURE WAS DESIGNED TO ONLY SUPPORT WHAT IS SHOWN ON THESE DRAWINGS. POLYGON MUST BE CONTACTED IF ANYTHING ELSE IS TO BE ATTACHED TO THIS STRUCTURE (WALLS, COLUMN WRAPS, RAILINGS, ETC.) SO THE DESIGN OF THIS STRUCTURE CAN BE REVIEWED AND POSSIBLY REVISED.

UNLESS NOTED OTHERWISE, THIS STRUCTURE WAS DESIGNED ASSUMING A 2' SEPARATION BETWEEN ANY ADJACENT STRUCTURE WITH AN EAVE HEIGHT EQUAL TO OR GREATER THAN THE EAVE HEIGHT OF THIS STRUCTURE. IF THAT SEPARATION DOES NOT EXIST, POLYGON MUST BE CONTACTED SO THE DESIGN OF THIS STRUCTURE CAN BE REVIEWED AND POSSIBLY REVISED.

STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) SPECIFICATION MANUAL.

ALL WELDING IS PERFORMED BY AMERICAN WELDING SOCIETY CERTIFIED WELDERS AND CONFORMS TO THE LATEST EDITION OF AWS D1.1 OR D1.3 AS REQUIRED.

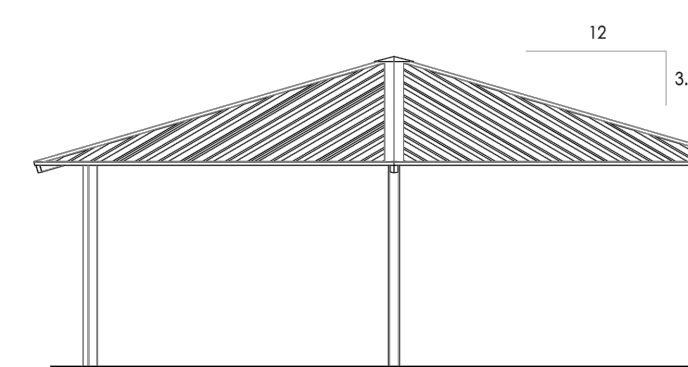
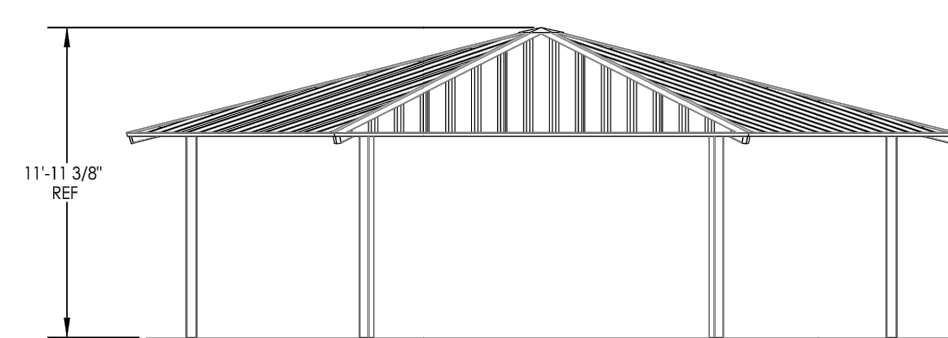
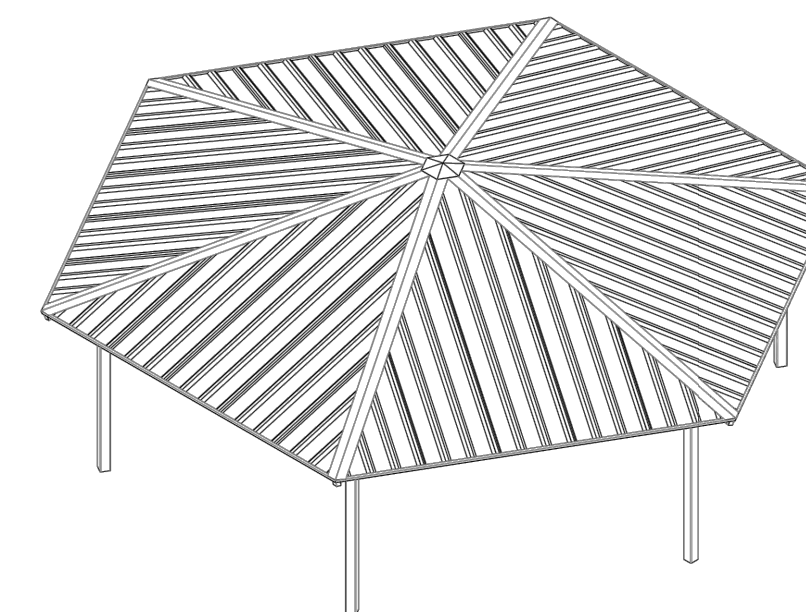
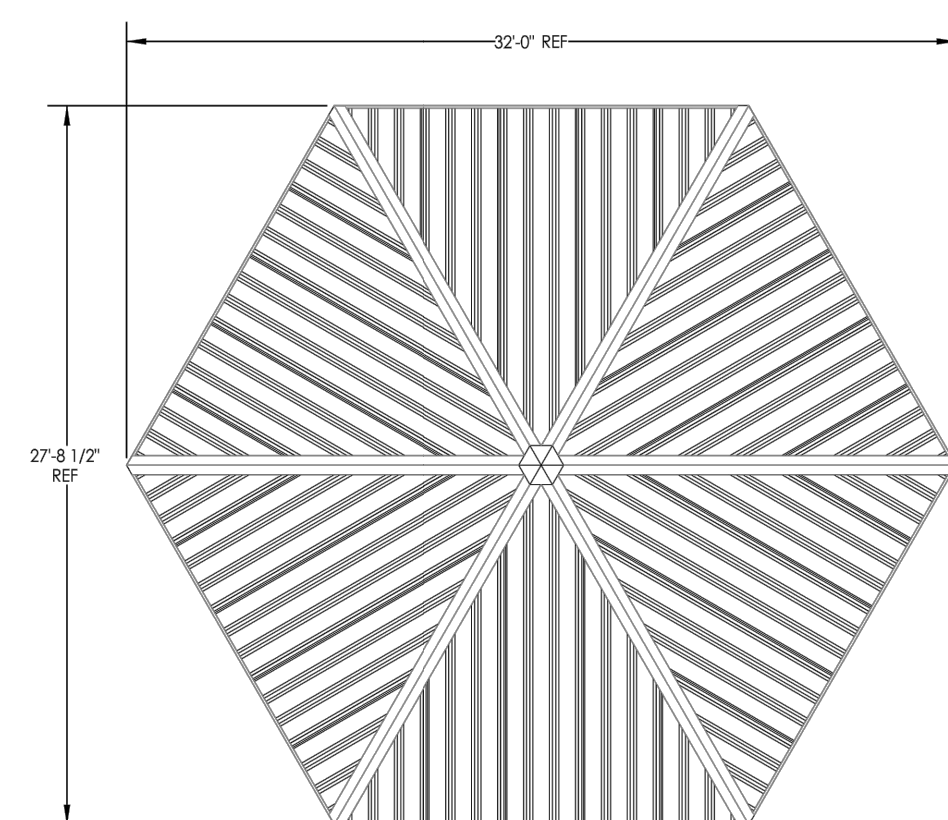
PARTS SHOWN MAY BE UPGRADED DUE TO STANDARDIZED FABRICATION. REFER TO THE SHIPPING BILL OF MATERIALS FOR POSSIBLE SUBSTITUTIONS.

FOR PROPER FIELD INSTALLATION OF THE BUILDING IT IS RECOMMENDED THAT THE PRIMARY FRAME INSTALLER AND THE ROOF INSTALLER HAVE A MINIMUM FIVE (5) YEARS DOCUMENTED EXPERIENCE INSTALLING THIS TYPE OF PRODUCT.

FOR PROPER FIELD INSTALLATION OF THE BUILDING IT IS RECOMMENDED THAT ELECTRIC WIRING, IF REQUIRED, BE RUN THROUGH THE STRUCTURAL MEMBERS BEFORE THE BUILDING IS ERECTED.

**STOP!!**  
 NOT FOR CONSTRUCTION  
 USE FOR PRELIMINARY PLANNING AND ESTIMATING ONLY

DRAWING: COVER SHEET  
 SCALE: 1:48  
 REV. LEVEL: A  
 [614]399-1963  
 www.poligon.com  
 SHEET **CS**

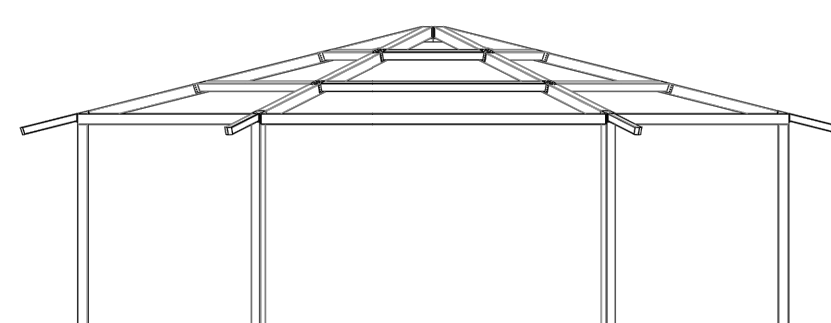
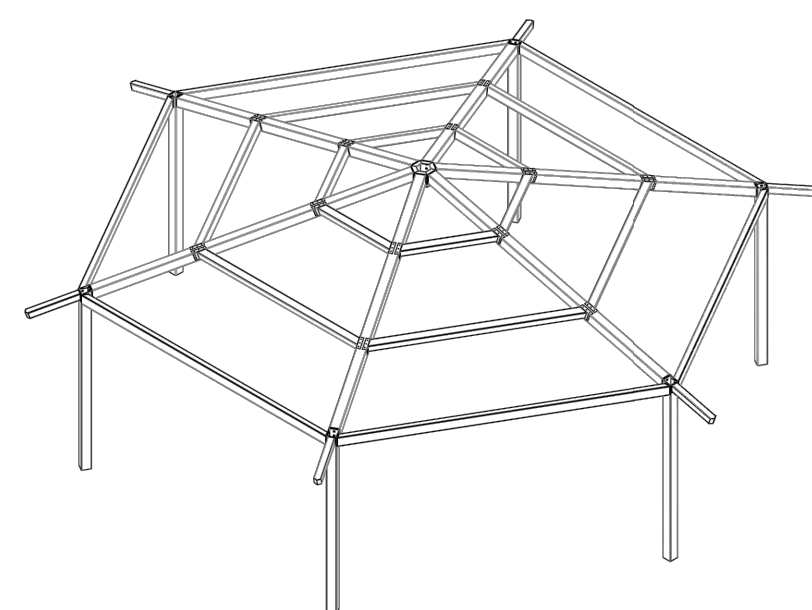
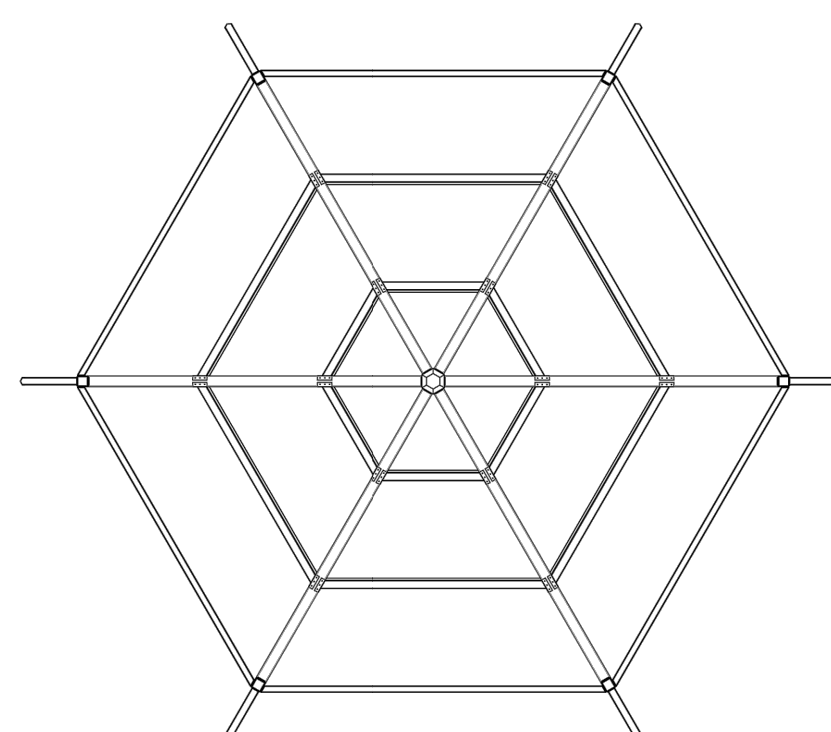


FINISH GRADE MOUNTING VARIES BASED ON ENGINEERING REQUIREMENTS.

- GENERAL ROOF NOTES:**
- METAL ROOFING:
    - 24 GAUGE
    - GALVALUME COATED
    - KYNAR 500 PAINTED
  - TRIM COLOR MATCHES ROOF
  - SEE POLYGON.COM FOR COLOR OPTIONS

**STOP!!**  
 NOT FOR CONSTRUCTION  
 USE FOR PRELIMINARY PLANNING AND ESTIMATING ONLY

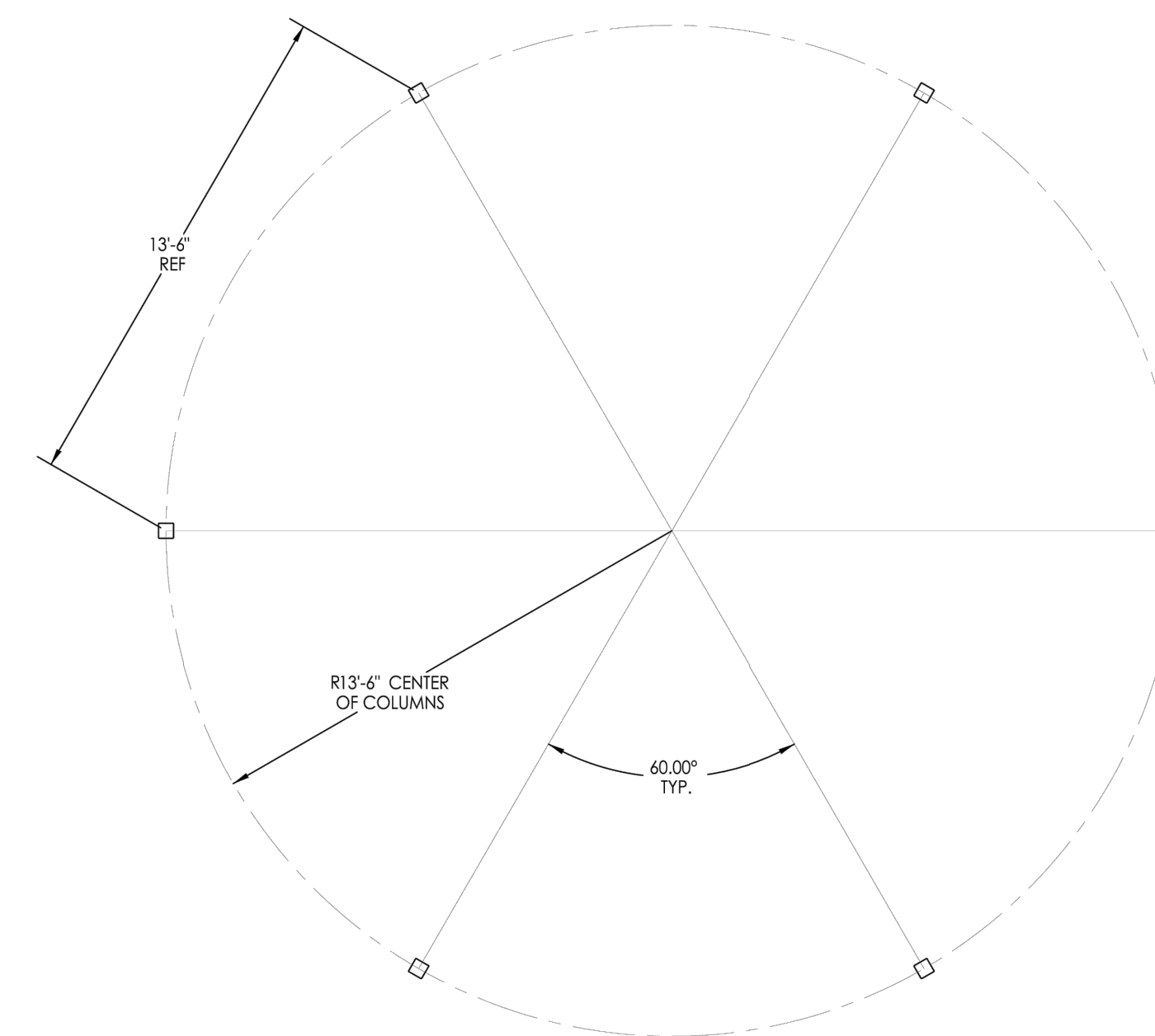
DRAWING: ARCHITECTURAL ELEVATIONS  
 SCALE: 1:70  
 REV. LEVEL: A  
 [614]399-1963  
 www.poligon.com  
 SHEET **1**



FINISH GRADE MOUNTING VARIES BASED ON ENGINEERING REQUIREMENTS.

**STOP!!**  
 NOT FOR CONSTRUCTION  
 USE FOR PRELIMINARY PLANNING AND ESTIMATING ONLY

DRAWING: STRUCTURAL FRAMING PLAN  
 SCALE: 1:70  
 REV. LEVEL: A  
 [614]399-1963  
 www.poligon.com  
 SHEET **2**



- BASEPLATE NOTES:**
- POLYGON ENGINEERING WILL DETERMINE REQUIRED BASEPLATE DESIGN AFTER ENGINEERING PACKAGE IS ORDERED.
  - CUSTOMER MAY SUGGEST PREFERRED BASEPLATE DESIGN.

**STOP!!**  
 NOT FOR CONSTRUCTION  
 USE FOR PRELIMINARY PLANNING AND ESTIMATING ONLY

DRAWING: COLUMN LAYOUT  
 SCALE: 1:32  
 REV. LEVEL: A  
 [614]399-1963  
 www.poligon.com  
 SHEET **3**

**1 SHELTER STRUCTURE**  
 1" = 1'-0"

DATE = 05/30/2023	DESIGNED — MGM	REVISED —
SCALE = AS NOTED	CHECKED — EFH	REVISED —
PROJECT NO = ---	DRAWN — CNO	REVISED —
FILE NAME = Details-L5.4 DETAILS	CHECKED —	REVISED —



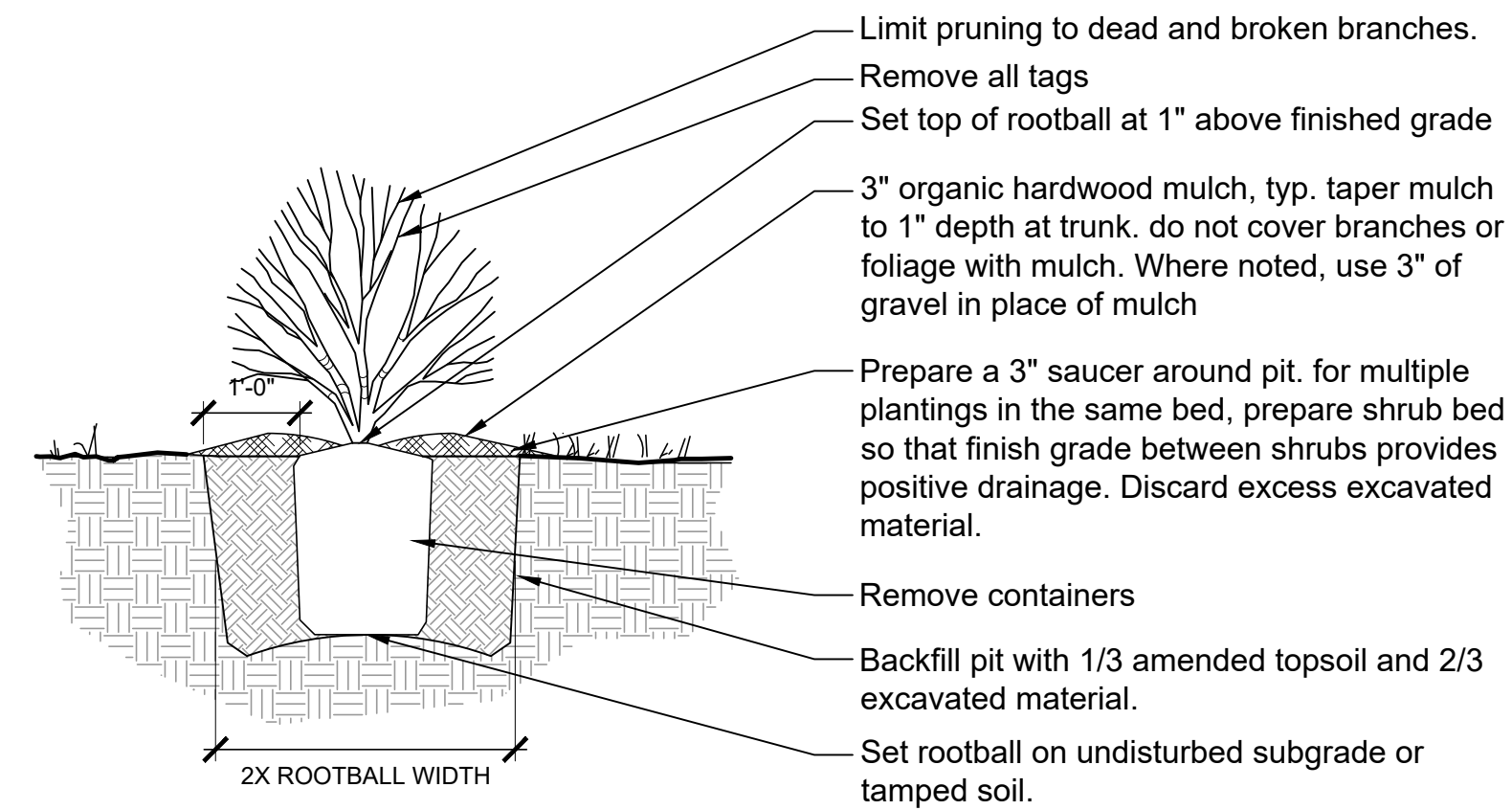
CONSERVANCY SUBDIVISION  
 CONSERVANCY PARK  
 DETAILS

VILLAGE  
 of  
 GILBERTS

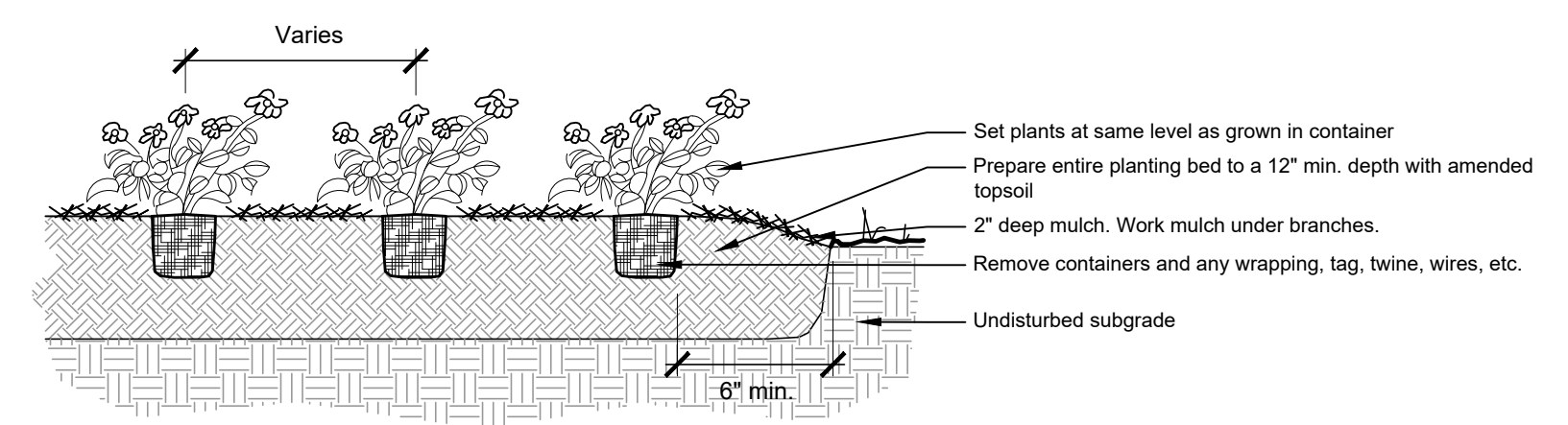
SHEET NO.  
 L5.4





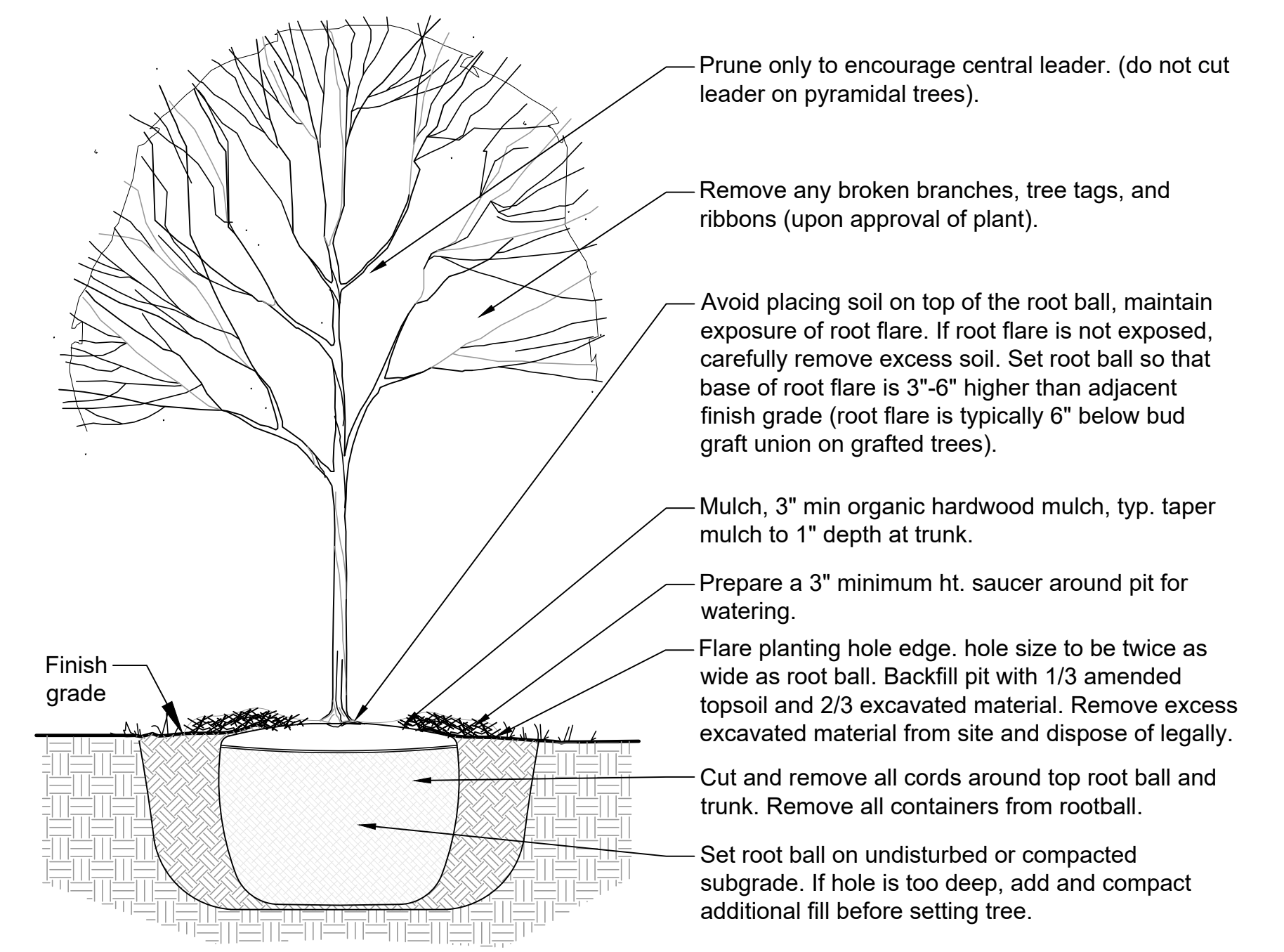


**3 SHRUB PLANTING**  
1/2" = 1'-0"

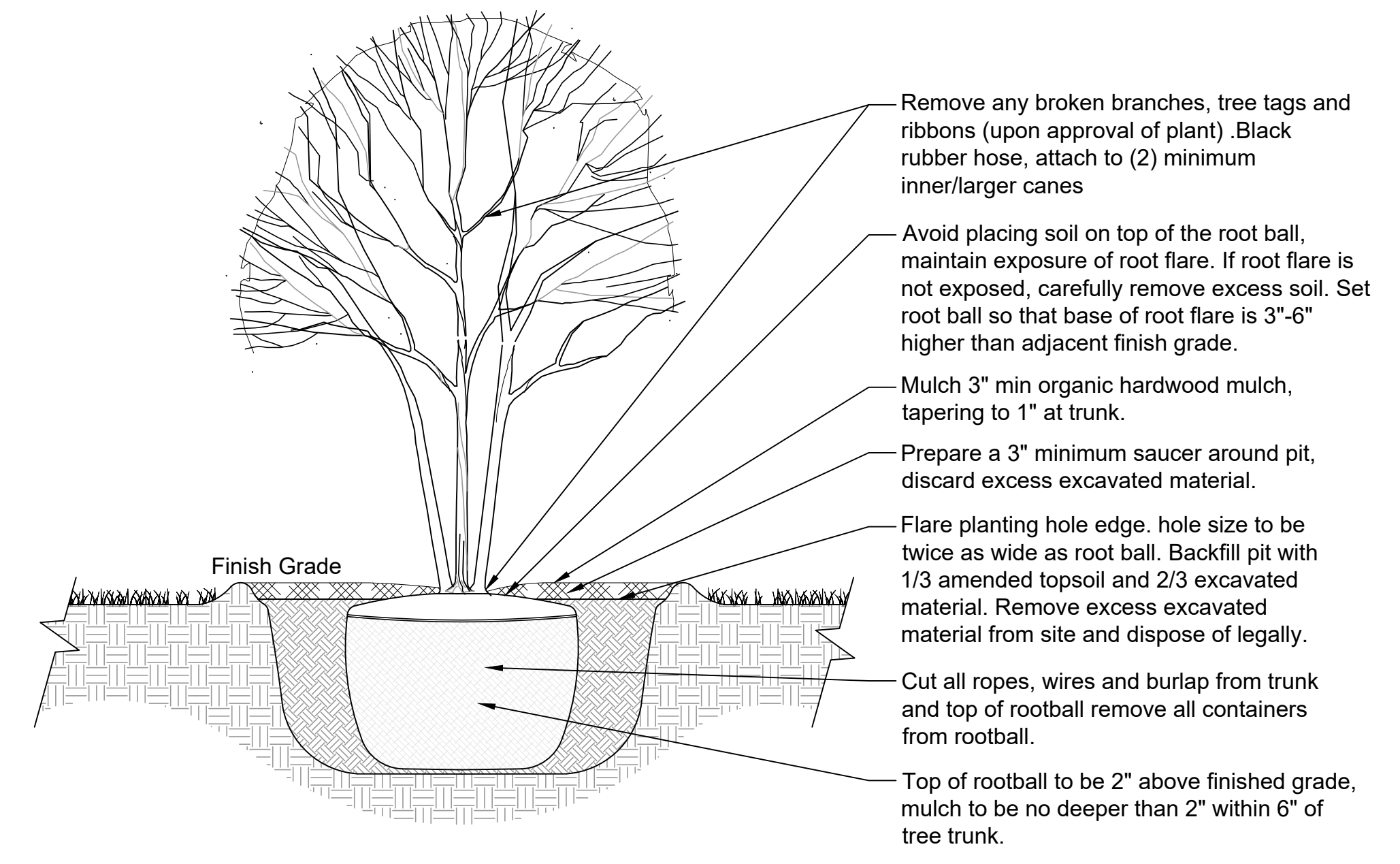


**4 PERENNIAL PLANTING**  
1/2" = 1'-0"

Note:  
Root mass of pot bound plants should be loosened before planting



**1 SHADE TREE - NO TP**  
1/2" = 1'-0"



**2 ORNAMENTAL TREE PLANTING**  
1/2" = 1'-0"

DATE = 05/30/2023	DESIGNED -- MGM	REVISED --
SCALE = AS NOTED	CHECKED -- EFH	REVISED --
PROJECT NO = ---	DRAWN -- CNO	REVISED --
FILE NAME = Details-L5.5 DETAILS	CHECKED --	REVISED --



**GENERAL NOTES**

**GENERAL**

1. THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, AND ALL ADDENDA THERETO, SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS.
2. THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, SHALL GOVERN THE UNDERGROUND WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS.
3. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS AND THE VILLAGE OF GILBERTS REGULATIONS AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR(S) SHALL COMPLY WITH ALL LOCAL AND STATE SAFETY LAWS, REGULATIONS AND ORDINANCES; AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS AND WITH ALL PROVISIONS AND REGULATIONS OF THE OSHA STANDARDS. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SAFE WORKING PLACE FOR HIS EMPLOYEES. THE CONTRACTOR(S) ARE RESPONSIBLE FOR THE SUPERVISION, DIRECTION AND CONDUCT OF THEIR EMPLOYEES, AGENTS, MATERIAL SUPPLIERS AND VENDORS. THE CONTRACTOR(S), BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS ROBINSON ENGINEERING, LTD. (THE ENGINEER), HIS EMPLOYEES AND AGENTS WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
5. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATION, MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITY LOCATIONS SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS AND ARE FOR GENERAL DIRECTION ONLY. ALL UTILITY LOCATIONS SHOWN MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
6. WHEREVER OBSTRUCTIONS NOT SHOWN ON THE PLANS ARE ENCOUNTERED DURING CONSTRUCTION AND INTERFERE TO SUCH AN EXTENT THAT AN ALTERATION IN THE PLANS IS REQUIRED, THE ENGINEER SHALL BE NOTIFIED PRIOR TO ANY CHANGES.
7. THE VILLAGE ENGINEER SHALL BE NOTIFIED UPON ENCOUNTERING ANY FIELD TILE ON THE SITE. A MEETING SHALL BE CONDUCTED ON SITE WITH THE VILLAGE ENGINEER, PRIOR TO ANY DISPOSITION BEING DETERMINED. THE VILLAGE ENGINEER HAS THE SOLE AUTHORITY IN REQUIREMENTS FOR ANY FIELD TILE ENCOUNTERED DURING CONSTRUCTION.
8. ALL ITEMS THAT ARE NOT SPECIFICALLY SHOWN ON THE PLANS OR IN THE SUMMARY OF QUANTITIES BUT CAN REASONABLY BE INTERPRETED TO BE INCLUDED IN THE WORK DESCRIBED SHALL BE INCIDENTAL TO THE COST OF THE CONTRACT.
9. TRAFFIC CONTROL SHALL BE USED WHEN NECESSARY AND SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION. COST OF TRAFFIC CONTROL SHALL BE INCIDENTAL TO THE CONTRACT, UNLESS OTHERWISE NOTED.
10. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH CLEAN CA-07 CRUSHED STONE TRENCH BACKFILL.
11. ALL ELEVATIONS ARE BASED ON NAVD '88 DATUM.
12. ALL FRAMES AND GRATES SHALL BE EAST JORDAN IRON WORKS MANUFACTURE OF THAT TYPE SHOWN ON THE PLANS, OR EQUAL.
13. THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL POSSIBLE WATER MAIN, SANITARY SEWER MAIN, OR STORM SEWER CONFLICTS. THE WATER MAIN SHALL BE INSTALLED AT A DEPTH TO ALLOW THE SEWER MAINS TO BE INSTALLED ACCORDING TO PLAN. THE WATER AND SEWER MAINS AT THESE LOCATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION DETAILS INCLUDED IN THESE PLANS.
14. THE VILLAGE AND THE VILLAGE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITE WORK. THE ENGINEER IS TO BE NOTIFIED BY THE CONTRACTOR A MINIMUM OF 24 HOURS PRIOR TO COVERING ANY EXPOSED SUBGRADE, PLACING ANY FILL, BACKFILLING SANITARY, WATER, OR STORM LINES, PLACING BASE COURSE STONE, PLACING CONCRETE, OR PLACING ASPHALT.
15. THE LOCATION OF THE SITE IMPROVEMENTS ARE NOT LOCATED WITHIN A FLOODPLAIN OR MAPPED WETLANDS PER NWI.
16. THE CONTRACTOR SHALL FURNISH RECORD DRAWINGS TO ENGINEERING, INC. THAT INCLUDE INFORMATION SHOWING ALL MODIFICATIONS TO PLANS, LOCATIONS OF ALL SERVICE CONNECTIONS, AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE ENGINEER.
17. NO EXTRA WORK OF ANY NATURE SHALL BE UNDERTAKEN WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER OR HIS REPRESENTATIVES.
18. THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE MOST RECENT SET OF THE APPROVED FOR CONSTRUCTION FINAL ENGINEERING PLANS ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
19. ANY REFERENCE TO STANDARDS THROUGHOUT THE PLANS OR SPECIAL PROVISIONS SHALL BE INTERPRETED TO BE THE LATEST STANDARDS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
20. THE CONTRACTOR SHALL PROTECT ALL TREES WITHIN AND ADJACENT TO THE CONSTRUCTION SITE DURING THE CLEARING AND SUBSEQUENT CONSTRUCTION OPERATION IN ACCORDANCE WITH SECTION 201 OF THE STANDARD SPECIFICATIONS. THOSE TREES TO BE REMOVED AS SHOWN IN THE PLANS SHALL BE DONE IN ACCORDANCE WITH SECTION 201 AND 202 OF THE STANDARD SPECIFICATIONS.
21. 5' TRANSITIONS SHALL BE USED TO MATCH PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER, UNLESS OTHERWISE SHOWN. THE TRANSITIONS SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR THE PROPOSED ITEM OF WORK SPECIFIED.
22. ANY AREA DISTURBED OUTSIDE OF THE LIMITS OF CONSTRUCTION SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.

**STORM SEWER**

1. ALL STORM SEWER PIPE IS TO BE CLASS IV REINFORCED CONCRETE PIPE WITH FLEXIBLE GASKETED JOINTS IN ACCORDANCE WITH ASTM C331 OR C443.

**WATER**

1. A 10-FOOT MINIMUM SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL STORM SEWER AND WATER MAIN LINES, AND BETWEEN PARALLEL SANITARY SEWER AND WATER MAIN LINES, IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
2. WATER MAIN SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS".
  - THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTICE TO THE VILLAGE UTILITY OR ENGINEERING DEPARTMENT FOR ALL TESTING.
  - REQUESTS FOR VALVE OPERATIONS ARE TO BE MADE THROUGH THE UTILITY DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY SCHEDULED OPERATIONS OR TESTS.

THE CONTRACTOR SHALL PRESSURE TEST ALL NEW WATER MAIN BEFORE WATER SERVICES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL PERFORM A PRELIMINARY TEST TO ENSURE THAT ALL SEGMENTS OF THE SYSTEM MEET THE LEAKAGE RATES AS SET FORTH HEREIN.

AFTER ALL MAINS HAVE BEEN PRESSURE TESTED, THE CONTRACTOR SHALL DISINFECT THE MAINS IN ACCORDANCE WITH AWWA STANDARD C-651. THE CONTRACTOR WILL SAMPLE THE CHLORINATED DISINFECTING SOLUTION. AFTER FINAL FLUSHING, AND AS WITNESSED BY THE VILLAGE UTILITY DEPARTMENT, THE CONTRACTOR SHALL OBTAIN TWO SAMPLES OF WATER FROM THE MAIN FOR BACTERIOLOGICAL TESTING. A SECOND SERIES OF SAMPLES SHALL BE COLLECTED NO LESS THAN 24 HOURS AFTER THE FIRST SET OF SAMPLES HAS BEEN COLLECTED. THE CONTRACTOR AND THE VILLAGE WILL BE FURNISHED WITH COPIES OF THE BACTERIOLOGICAL REPORT FOR THEIR RECORDS.

**EXCAVATION**

1. PRIOR TO COMMENCING ANY FILL OPERATIONS IN STRUCTURAL BUILDING, PAVEMENT OR SIDEWALK AREAS, ALL TOPSOIL IS TO BE REMOVED, UNLESS OTHERWISE NOTED.
2. UPON STRIPPING OF TOPSOIL FROM STRUCTURAL, PAVEMENT AND/OR UTILITY AREAS AND PRIOR TO PLACEMENT OF FILLS OR SUBBASE COURSES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR THE OWNER'S TESTING LABORATORY FOR VERIFICATION OF THE ADEQUATE SUBGRADE STRENGTH. SOIL SUBGRADE STRENGTH IN PAVEMENT AREAS SHALL BE EVALUATED WITH THE AID OF A FULLY-LOADED EXCAVATION HAULING TRUCK, AND BY MEANS OF DENSITY TESTS.
3. SURPLUS EXCAVATED SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AS ACCEPTABLE TO THE ENGINEER.
4. ALL FILLS SHALL BE COMPACTED IN 6-INCH LIFTS TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES.
6. PERIMETER TEMPORARY EROSION CONTROL SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. DITCH CHECKS, INLET PROTECTION, AND OTHER LIKE CONTROLS SHALL BE INSTALLED IMMEDIATELY AFTER THE RELEVANT CONSTRUCTION ACTIVITIES.
7. ALL TEMPORARY EROSION CONTROL, SUCH AS SILT FENCE AND STRAW BALES, INLET PROTECTION, ETC. SHALL BE INSPECTED AND MAINTAINED, BY THE CONTRACTOR, ON A DAILY BASIS.
8. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO DISPOSE OF ALL EXCAVATED MATERIALS IN A RESPONSIBLE MANNER IN ACCORDANCE WITH IEPA CDD REQUIREMENTS.

**SANITARY SEWER**

1. ALL SANITARY SEWER SHALL CONFORM TO ASTM D-3034 (FOR SIZES 4" THROUGH 15"), AND ASTM F-679-89 (FOR SIZES 18" THROUGH 36"). THE SEWER PIPE AND FITTINGS SHALL HAVE A MINIMUM STANDARD DIMENSION RATIO (SDR) OF 26. THE JOINTS SHALL BE OF THE BELL AND SPIGOT TYPE AND CONFORM TO ASTM D-3212, AND THE GASKETS SHALL BE FLEXIBLE ELASTO MERIC SEALS CONFORMING TO ASTM F-477
2. 100% OF SANITARY SEWER PIPES SHALL BE AIR TESTED FOR THE FIRST 1200 FEET. THEREAFTER, A MINIMUM OF 25% OF THE SANITARY SEWER PIPES SHALL BE AIR TESTED IN ACCORDANCE WITH SECTION 31-1.11B(3), AND DEFLECTION TESTED IN ACCORDANCE WITH SECTION 31-1.11B(4), AND THE ALLOWABLE TESTING LIMITS SHALL BE IN ACCORDANCE WITH SECTION 31-1.11C(3-4) . 100% OF SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C1244. THE ENGINEER SHALL DETERMINE THE LOCATION FOR SANITARY SEWER PIPE TESTING.
3. ALL SANITARY MANHOLES SHALL HAVE WATERPROOF FRAME AND COVERS, INTERNAL CHIMNEY SEALS, AND EXTERNAL JOINT SEALING BANDS CONFORMING TO ASTM C-877 (McWRAP OR APPROVED EQUAL).
4. SANITARY SEWER SHALL BE INSTALLED WITH SEPARATION FROM WATER MAINS IN ACCORDANCE WITH SECTIONS 41-2.01B AND 41-2.01C OF THE LATEST EDITION OF STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AND IN ACCORDANCE WITH SECTION 370.350 OF THE ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS.
5. TRENCH BACKFILL FOR SANITARY SEWER SERVICES SHALL BE INCLUDED IN THE PRICE OF THE SERVICE.

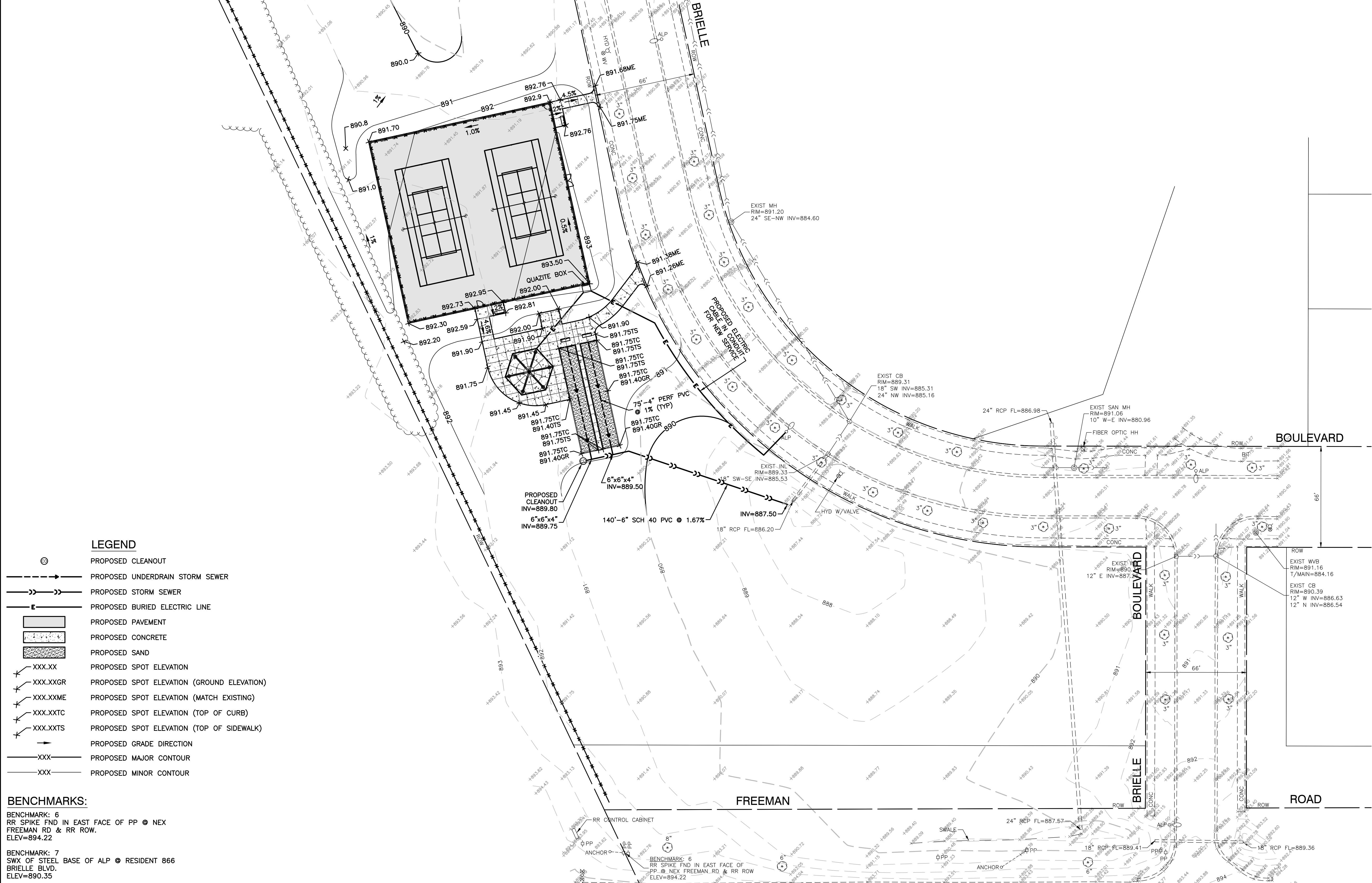
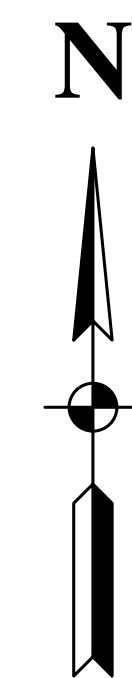
**PAVEMENT**

1. PAVEMENT AND CURB REMOVAL INCLUDES SAW-CUTTING AND REMOVING ASPHALT PAVEMENT AND CONCRETE CURB AS REQUIRED.
2. EXPANSION JOINTS IN THE CURB SHALL BE INSTALLED AT A MAXIMUM SPACING OF 100 FT IN STRAIGHT SECTIONS, AT ALL P.C. AND P.T. POINTS IN THE CURB, AND 5 FT. ON EACH SIDE OF ALL INLETS. IF AN INLET IS LOCATED ON A CURVE, EXPANSION JOINTS NEED BE PLACED AT EITHER P.C. AND P.T. OR 5 FT. ON EACH SIDE OF AN INLET, NOT BOTH.
3. CURB AND GUTTER SHALL HAVE SAWED CONTRACTION JOINTS AT MAXIMUM INTERVALS OF 20 FEET.
4. THE AGGREGATE BASE COURSE MATERIALS SHALL BE APPLIED AND COMPACTED IN ACCORDANCE WITH SECTION 351 OF THE STANDARD SPECIFICATIONS.
5. THE BINDER AND SURFACE COURSE MATERIALS SHALL BE APPLIED AND COMPACTED IN ACCORDANCE WITH SECTION 406 OF THE STANDARD SPECIFICATIONS.
6. THE MATERIALS FOR THE SURFACE TREATMENT SHALL BE APPLIED AND COMPACTED IN ACCORDANCE WITH SECTION 403 OF THE IDOT STANDARD SPECIFICATIONS.

DATE	=	05-25-2023	DESIGNED	--	DLW	REVISED	--
SCALE	=		CHECKED	--	DLW	REVISED	--
PROJECT NO	=	23-R0321	DRAWN	--	ND	REVISED	--
FILE NAME	=	23R0321-NOTE-01	CHECKED	--	AG	REVISED	--







**LEGEND**

- PROPOSED CLEANOUT
- PROPOSED UNDERDRAIN STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED BURIED ELECTRIC LINE
- PROPOSED PAVEMENT
- PROPOSED CONCRETE
- PROPOSED SAND
- PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION (GROUND ELEVATION)
- PROPOSED SPOT ELEVATION (MATCH EXISTING)
- PROPOSED SPOT ELEVATION (TOP OF CURB)
- PROPOSED SPOT ELEVATION (TOP OF SIDEWALK)
- PROPOSED GRADE DIRECTION
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR

**BENCHMARKS:**

BENCHMARK: 6  
RR SPIKE FND IN EAST FACE OF PP @ NEX  
FREEMAN RD & RR ROW.  
ELEV=894.22

BENCHMARK: 7  
SWX OF STEEL BASE OF ALP @ RESIDENT 866  
BRIELLE BLVD.  
ELEV=890.35

DATE	= 05-25-2023	DESIGNED	— DLW	REVISED	—
SCALE	= 1"=30'	CHECKED	— DLW	REVISED	—
PROJECT NO	= 23-R0321	DRAWN	— ND	REVISED	—
FILE NAME	= 23R0321-GRAD-01	CHECKED	— AG	REVISED	—



CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
GRADING & UTILITY PLAN

VILLAGE  
of  
GILBERTS

SHEET NO.  
C2.0

LAST SAVED BY: NDEANULT ON 5/26/23  
PLOTTED BY: NATHAN DENAULT ON 5/26/23

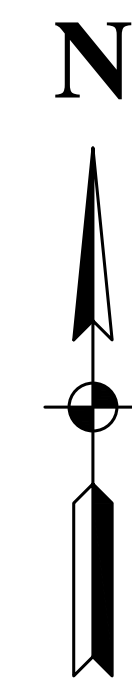


**NOTES:**

- ALL DISTURBED AREAS TO RECEIVE TURF RESTORATION.
- A MINIMUM OF 6" OF TOPSOIL IS REQUIRED IN TURF RESTORATION AREAS. THE CONTRACTOR SHALL FURNISH AND PLACE TO MEET THE PROPOSED GRADES ON THE PLANS.
- SEEDING SHALL BE CLASS 1 (LAWN MIX 7)  
 KENTUCKY BLUEGRASS 110 LBS/AC  
 PERENNIAL RY GRASS 60 LBS/AC  
 CREEPING RED FESCUS 40 LBS/AC  
 FERTILIZER SHALL BE APPLIED IN ACCORDANCE WITH SECTION 250, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AT A RATE OF 270 LBS/AC.  
 NITROGEN FERTILIZER NUTRIENTS 90 LBS/AC  
 PHOSPHORUS FERTILIZER NUTRIENTS 90 LBS/AC  
 POTASSIUM FERTILIZER NUTRIENTS 90 LBS/AC

**LEGEND**

- SF — SF — SILT FENCE
- ◊ INLET FILTER
- ▨ SEEDING CLASS 2A, TOPSOIL FURNISH & PLACE 6" WITH EROSION BLANKET
- ▩ RIPRAP
- TREE PROTECTION
- ⊕ INLET & PIPE PROTECTION
- ⊖ TEMPORARY DITCH CHECK



**TENTATIVE SCHEDULE**

SOIL EROSION MEASURES INSTALLED XX/2023 - WITH ONGOING MAINTENANCE THROUGH STABILIZATION.

DEMOLITION AND LAND CLEARING XX/2023.

EARTHWORK XX/2023.

UNDERGROUND UTILITIES XX/2023.

LANDSCAPING AND SITE STABILIZATION XX/2023.

**CONTRACTOR CERTIFICATION STATEMENT:**

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION."

CONTRACTOR NAME (PRINT): \_\_\_\_\_

CONTRACTOR SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**OWNER CERTIFICATION STATEMENT:**

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

OWNER NAME (PRINT): \_\_\_\_\_

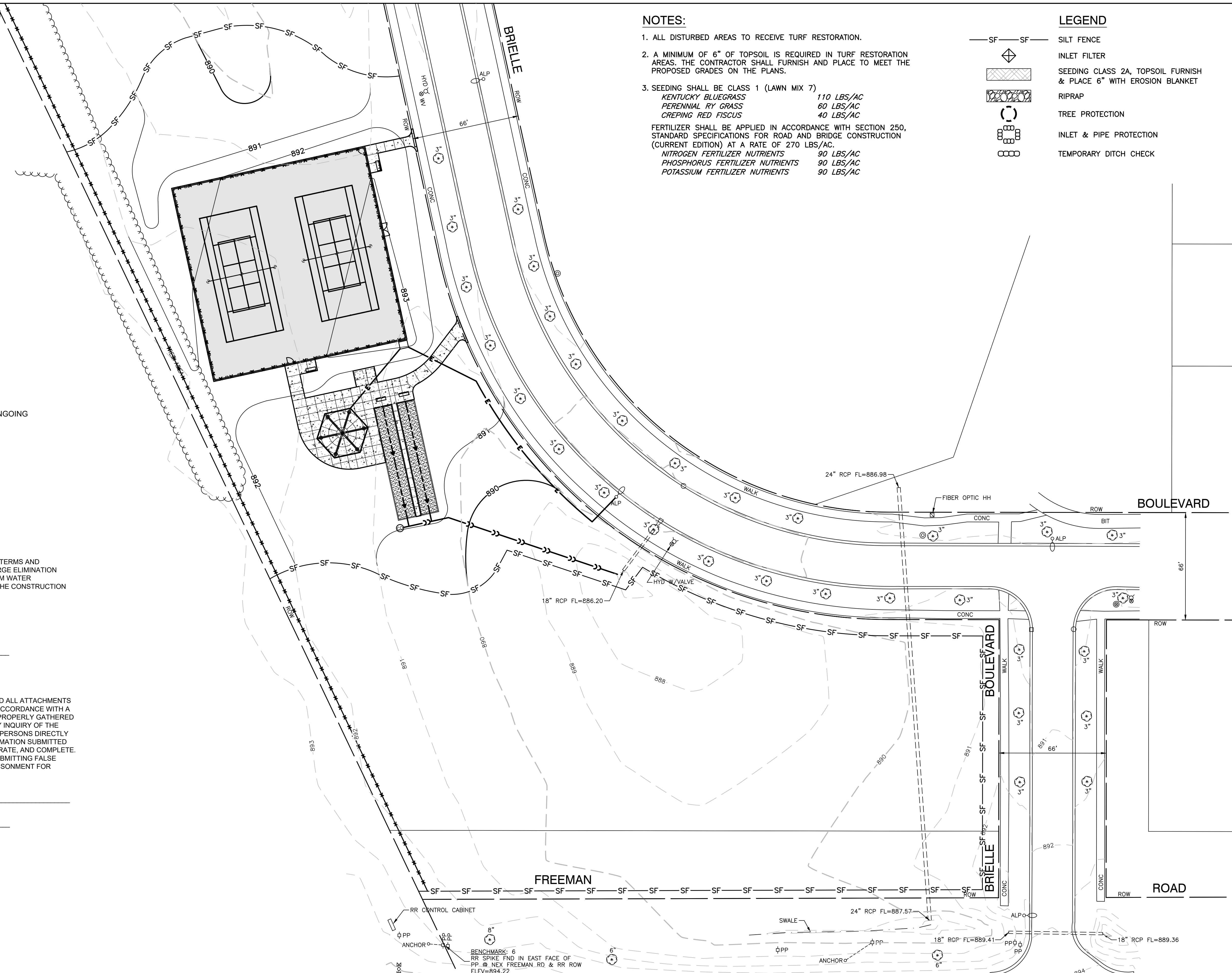
OWNER SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**BENCHMARKS:**

BENCHMARK: 6  
 RR SPIKE FND IN EAST FACE OF PP @ NEX  
 FREEMAN RD & RR ROW.  
 ELEV=894.22

BENCHMARK: 7  
 SWX OF STEEL BASE OF ALP @ RESIDENT 866  
 BRIELLE BLVD.  
 ELEV=890.35



DATE	=	05-25-2023	DESIGNED	—	DLW	REVISED	—
SCALE	=	1"=30'	CHECKED	—	DLW	REVISED	—
PROJECT NO	=	23-R0321	DRAWN	—	ND	REVISED	—
FILE NAME	=	23R0321-SWPPP-01	CHECKED	—	AG	REVISED	—



CONSERVANCY SUBDIVISION  
 CONSERVANCY PARK  
 STORM WATER POLLUTION PREVENTION PLAN

VILLAGE  
 of  
 GILBERTS

SHEET NO.  
 C3.0

LAST SAVED BY: NDEANULT ON 5/26/23  
 PLOTTED BY: NATHAN DENAULT ON 5/26/23



**STORM WATER POLLUTION PREVENTION  
EROSION CONTROLS AND SEDIMENT CONTROLS**

**DESCRIPTION OF STABILIZATION PRACTICES AT THE BEGINNING OF CONSTRUCTION (WHERE APPLICABLE):**

- 1) THE AREA BETWEEN THE EXISTING AND PROPOSED RIGHT-OF-WAY/TEMPORARY EASEMENT BOUNDARIES AND LIMITS OF THE PROJECT WILL BE IMPROVED AND MANAGED FOR THE PURPOSES OF CONTROLLING EROSION WITHIN THE AREA, REDUCING WATER FLOW BY TEMPORARY DIVERSION AND MINIMIZING SILTATION INTO THE CONSTRUCTION ZONE, AND ESTABLISHING VEGETATIVE COVER WHICH WILL BECOME PERMANENT VEGETATION AND ACT AS AN EROSION BARRIER. WORK AT THE BEGINNING OF CONSTRUCTION WILL CONSIST OF THE FOLLOWING:
  - A) AREAS OF EXISTING VEGETATION (WOODS AND GRASSLANDS) OUTSIDE THE PROPOSED CONSTRUCTION SLOPE LIMITS SHALL BE IDENTIFIED FOR PRESERVING AND SHALL BE PROTECTED FROM MOWING, BRUSH CUTTING, TREE REMOVAL AND OTHER ACTIVITIES WHICH WOULD BE DETRIMENTAL TO THEIR MAINTENANCE AND DEVELOPMENT.
  - B) DEAD, DISEASED, OR UNSUITABLE VEGETATION WITHIN THE SITE SHALL BE REMOVED AS DIRECTED BY THE ENGINEER, ALONG WITH REQUIRED TREE REMOVAL.
  - C) AS SOON AS REASONABLE ACCESS IS AVAILABLE (SUCH AS TREES CLEARED) TO ALL LOCATIONS WHERE DITCH CHECKS AND/OR EROSION CONTROL FENCE SHALL BE INSTALLED AS CALLED OUT IN THE PLAN AND DIRECTED BY THE ENGINEER.
  - D) BARE AND SPARSELY VEGETATED GROUND IN HIGHLY ERODABLE AREAS AS DETERMINED BY THE ENGINEER SHALL BE TEMPORARILY SEEDED AT THE BEGINNING OF CONSTRUCTION WHERE NO CONSTRUCTION ACTIVITIES ARE IMMEDIATELY EXPECTED AS STATED IN THE SPECIAL PROVISION "TEMPORARY EROSION CONTROL SEEDING."
  - E) IMMEDIATELY AFTER TREE REMOVAL IS COMPLETED IN CERTAIN AREAS WHICH ARE HIGHLY ERODABLE AREAS AS DETERMINED BY THE ENGINEER, THE AREAS SHALL BE TEMPORARILY SEEDED WHERE NO CONSTRUCTION ACTIVITIES ARE IMMEDIATELY EXPECTED AS STATED IN THE SPECIAL PROVISION "TEMPORARY EROSION CONTROL SEEDING."
  - F) AT LOCATIONS WHERE A SIGNIFICANT AMOUNT OF WATER DRAINING INTO THE CONSTRUCTION ZONE, RIP RAP DITCH CHECKS WILL BE UTILIZED TO LOCALLY DIVERT WATER, REDUCE FLOW RATES, AND COLLECT OUTSIDE SILTATION INSIDE THE RIGHT-OF-WAY LINE. EROSION CONTROL ITEMS WILL NOT BE ALLOWED TO BE INSTALLED TO CAUSE FLOODING TO UPSTREAM PRIVATE PROPERTY WHICH COULD CAUSE CROP DAMAGES OR OTHER UNDESIRABLE CONDITIONS.
  - G) AT LOCATIONS WHERE WATER DRAINS AWAY FROM THE PROJECT, SEDIMENT BASINS, RIP RAP DITCH CHECKS, TEMPORARY EROSION CONTROL FENCE, OR TEMPORARY DITCH CHECKS SHALL BE USED.
- 2) ESTABLISHMENT OF THESE TEMPORARY EROSION CONTROL MEASURES WILL HAVE ADDITIONAL BENEFITS TO THE PROJECT. DESIRABLE GRASS SEED WILL BECOME ESTABLISHED IN THESE AREAS AND WILL SPREAD SEEDS ONTO THE CONSTRUCTION SITE UNTIL PERMANENT SEEDING/MOWING AND OVERSEEDING CAN BE COMPLETE.
  - H) A THIRD PARTY BENEFIT OF THESE FILTER AREAS IS THAT THEY WILL BEGIN TO PROVIDE A SCREEN AND BUFFER. THEY WILL HELP PROTECT THE CONSTRUCTION SITE FROM WINDS AND EXCESS SUN AND MITIGATE CONSTRUCTION NOISE AND DUST.

**DESCRIPTION OF STABILIZATION PRACTICES DURING CONSTRUCTION (WHERE APPLICABLE):**

- 1) DURING ROADWAY CONSTRUCTION, AREAS OUTSIDE THE CONSTRUCTION SLOPE LIMITS AS OUTLINED PREVIOUSLY HEREIN SHALL BE PROTECTED FROM DAMAGING EFFECTS OF CONSTRUCTION. THE CONTRACTOR SHALL NOT USE THIS AREA FOR STAGING (EXCEPT AS DESIGNATED ON THE PLANS OR DIRECTED BY THE ENGINEER), PARKING OF VEHICLES OR CONSTRUCTION EQUIPMENT, STORAGE OF MATERIALS, OR OTHER CONSTRUCTION RELATED ACTIVITIES.
  - A) WITHIN THE CONSTRUCTION ZONE, CRITICAL AREAS WHICH HAVE HIGH FLOWS OF WATER AS DETERMINED BY THE ENGINEER SHALL REMAIN UNDISTURBED UNTIL FULL SCALE CONSTRUCTION IS UNDERWAY TO PREVENT UNNECESSARY SOIL EROSION.
  - B) TOPSOIL AND EARTH STOCKPILES SHALL BE TEMPORARILY SEEDED IF THEY ARE TO REMAIN UNUSED FOR MORE THAN FOURTEEN DAYS.
  - C) AS THE CONTRACTOR CONSTRUCTS A PORTION OF THE ROADWAY IN A FILL SECTION, HE/SHE SHALL FOLLOW THE FOLLOWING STEPS AS DIRECTED BY THE ENGINEER:
    - I. PLACE TEMPORARY EROSION CONTROL SYSTEMS AT LOCATIONS WHERE WATER LEAVES AND ENTERS THE CONSTRUCTION ZONE.
    - II. TEMPORARILY SEED HIGHLY ERODABLE AREAS OUTSIDE THE CONSTRUCTION ZONE SLOPE LIMITS.
    - III. CONSTRUCT ROADSIDE DITCHES AND PROVIDE TEMPORARY EROSION CONTROL SYSTEMS.
    - IV. TEMPORARILY DIVERT WATER AROUND PROPOSED CULVERT LOCATIONS.
    - V. BUILD NECESSARY EMBANKMENT AT CULVERT LOCATIONS AND THEN EXCAVATE AND PLACE CULVERT.
    - VI. CONTINUE BUILDING UP THE EMBANKMENT TO THE PROPOSED GRADE WHILE AT THE SAME TIME PLACING PERMANENT EROSION CONTROL SUCH AS RIP RAP DITCH LINING AND CONDUCT FINAL SHAPING TO THE SLOPES.
  - D) THE CONTRACTOR SHALL IMMEDIATELY FOLLOW MAJOR EARTH MOVING OPERATIONS WITH FINAL GRADING EQUIPMENT. AFTER MAJOR EARTH SPREAD OPERATION HAS MOVED TO A NEW LOCATION, FINAL GRADING SHALL BE COMPLETED WITHIN FOURTEEN DAYS. IF GRADING IS NOT COMPLETED WITHIN FOURTEEN DAYS, ALL MAJOR EARTH MOVING OPERATIONS WILL BE STOPPED, AS DIRECTED BY THE ENGINEER, UNTIL DISTURBED AREAS ARE FINAL GRADED AND SEEDED.
  - E) EXCAVATED AREAS AND EMBANKMENTS SHALL BE PERMANENTLY SEEDED WHEN FINAL GRADED. IF NOT, THEY SHALL BE TEMPORARILY SEEDED AS STATED IN THE SPECIAL PROVISION "TEMPORARY EROSION CONTROL SEEDING."
  - F) CONSTRUCTION EQUIPMENT SHALL BE STORED AND FUELED ONLY AT DESIGNATED LOCATIONS. ALL NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR POLLUTION RUN-OFF IN COMPLIANCE WITH EPA WATER QUALITY REGULATIONS. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.
  - G) THE RESIDENT ENGINEER SHALL INSPECT THE PROJECT DAILY DURING ACTIVITIES AND WEEKLY OR AFTER LARGE RAINS DURING THE WINTER SHUTDOWN PERIOD. THIS PROJECT SHALL ADDITIONALLY BE INSPECTED BY THE CONSTRUCTION FIELD ENGINEER ON A BIWEEKLY BASIS TO DETERMINE THAT EROSION CONTROL EFFORTS ARE IN PLACE AND EFFECTIVE AND IF OTHER CONTROL WORK IS NECESSARY.
  - H) SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON SITE ON A REGULAR BASIS AS DIRECTED BY THE ENGINEER. THE COST OF MAINTENANCE WILL BE PAID FOR IN ACCORDANCE WITH ARTICLE 109.04 OF THE STANDARD SPECIFICATIONS.
  - I) THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE REMOVED AS DIRECTED BY THE ENGINEER AFTER USE IS NO LONGER NEEDED OR NO LONGER FUNCTIONING. THE COSTS OF THIS REMOVAL SHALL BE INCLUDED IN THE UNIT BID PRICE FOR THE TEMPORARY EROSION CONTROL SYSTEM. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

**DOCUMENTATION**

- 1) A REPORT SUMMARIZING THE SCOPE OF INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN, AND ACTION TAKEN IN ACCORDANCE WITH SECTION 4. B. SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE YEARS AFTER THE DATE OF INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART VI. G. OF THE GENERAL PERMIT.
- 2) IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENT OF NONCOMPLIANCE (ION)" REPORT FOR THE IDENTIFIED VIOLATION. THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. G. OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
DIVISION OF WATER POLLUTION CONTROL  
COMPLIANCE ASSURANCE SECTION #19  
POST OFFICE BOX 19276  
SPRINGFIELD, IL 62794-9276

**DESCRIPTION OF INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB EARTH AND LEAD TO POSSIBLE EROSION FOR MAJOR PORTIONS OF THE CONSTRUCTION SITE:**

- 1) EXCAVATION AND FURNISHED EXCAVATION WILL BE COMPLETED AT LOCATION AS INDICATED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- 2) DRAINAGE STRUCTURES WILL BE INSTALLED BEFORE AND/OR DURING THE CONSTRUCTION OF THE EXCAVATION AND FURNISHED EXCAVATION TO ALLOW PROPER DRAINAGE IN AREA OF THE PROPOSED ROADWAY FACILITY.
- 3) PLACEMENT, MAINTENANCE, REMOVAL AND PROPER CLEANUP OF TEMPORARY EROSION CONTROL, SUCH AS EROSION CONTROL FENCE, HAY OR STRAW BALE DITCH CHECKS, RIP RAP DITCH CHECKS, TEMPORARY SEEDING AND MULCHING.
- 4) PLACEMENT OF PERMANENT EROSION CONTROL, SUCH AS RIP RAP DITCH LINING, FILTER FABRIC FOR USE WITH RIP RAP, SEEDING AND MULCHING.
- 5) FINAL GRADING, AND OTHER MISCELLANEOUS ITEMS. USE WITH RIP RAP, SEEDING AND MULCHING.

**AREA OF DISTURBED GROUND**

THE TOTAL AREA DISTURBED BY CONSTRUCTION ACTIVITIES IS APPROXIMATELY **XX.XX** ACRES.

THE FOLLOWING PLAN WAS ESTABLISHED AND INCLUDED IN THESE PLANS TO DIRECT THE CONTRACTOR IN THE PLACEMENT OF TEMPORARY EROSION CONTROL SYSTEMS AND TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN FOR COMPLIANCE UNDER NPDES. THE CONTRACTOR SHALL ABIDE TO ALL REQUIREMENTS WITHIN THIS PLAN AS PART OF THE CONTRACT.

ALL DISTURBED AREAS HAVING HIGH POTENTIAL FOR EROSION, AS DETERMINED BY THE ENGINEER, SHALL BE PERMANENTLY SEEDED AS SOON AS POSSIBLE.

**DESCRIPTION OF STABILIZATION PRACTICES AFTER FINAL GRADING (WHERE APPLICABLE):**

- 1) TEMPORARY EROSION CONTROL SYSTEMS SHALL BE LEFT IN PLACE WITH PROPER MAINTENANCE UNTIL PERMANENT EROSION CONTROL IS IN PLACE AND WORKING PROPERLY AND ALL PROPOSED TURF AREAS SEEDED AND ESTABLISHED WITH A PROPER STAND.
- 2) ONCE PERMANENT EROSION CONTROL SYSTEMS AS PROPOSED IN THE PLANS ARE FUNCTIONAL AND ESTABLISHED, TEMPORARY ITEMS SHALL BE REMOVED, CLEANED UP, AND DISTURBED TURF RESEEDED. TEMPORARY RIP RAP DITCH CHECKS WILL BE ALLOWED TO REMAIN IN PLACE WHERE APPROVED BY THE ENGINEER.

**MAINTENANCE AFTER CONSTRUCTION (WHERE APPLICABLE):**

- 1) CONSTRUCTION IS COMPLETE AFTER ACCEPTANCE IS RECEIVED AT THE FINAL INSPECTION.
- 2) AREAS WILL BE INSPECTED ON A REGULAR BASIS BY **THE CONTRACTOR**.
- 3) MAINTENANCE CREWS WILL PERFORM REGULAR MOWING TO AID IN KEEPING WEEDS DOWN AND ESTABLISHING A GOOD ROADSIDE SEED STAND.
- 4) MAINTENANCE CREWS WILL ALSO AID IN ANY DITCH LINING MAINTENANCE OR IN ANY DRAINAGE PROBLEMS.
- 5) ALL MAINTENANCE WILL BE CONDUCTED AT TIMES WHEN WEATHER CONDITIONS WILL NOT CAUSE SITE DAMAGE
- 6) CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF IEPA NPDES PERMIT ILR 10. RESTORATION SHALL OCCUR WITHIN 7 DAYS OF DISTURBANCE.
- 7) CONTRACTOR SHALL SUBMIT INSPECTION REPORTS TO THE **VILLAGE** AT LEAST ONCE PER SEVEN DAYS AND AFTER RAINFALL EVENTS OF A HALF INCH (OR EQUIVALENT SNOW FALL).
- 8) CONSTRUCTION SHALL NOT COMMENCE UNTIL THE NOI IS SUBMITTED AND THE IEPA ISSUES AN EFFECTIVE DATE. THE CONSTRUCTION SCHEDULE SHOULD BE COGNIZANT OF THE IEPA REVIEW SCHEDULE (APPROXIMATELY 30 DAYS).
- 10) THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE SWPPP ON SITE AT ALL TIMES.
- 11) A NOTICE OF TERMINATION SHALL BE COMPLETED BY THE OWNER WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT RATE OF VEGETATION. THE NOT SHALL BE SENT TO THE IEPA AND THE **VILLAGE**.
- 12) TECHNIQUES SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE.
- 13) DAILY REMOVAL OF SEDIMENT AND DEBRIS FROM ALL ROADS SHALL BE REQUIRED OF THE CONTRACTOR.

DATE	=	05-25-2023	DESIGNED	--	DLW	REVISED	--
SCALE	=		CHECKED	--	DLW	REVISED	--
PROJECT NO	=	23-R0321	DRAWN	--	ND	REVISED	--
FILE NAME	=	23R0321-SWPPP-01	CHECKED	--	AG	REVISED	--



CONSERVANCY SUBDIVISION  
CONSERVANCY PARK  
STORM WATER POLLUTION PREVENTION NOTES

VILLAGE  
of  
GILBERTS

SHEET NO.  
C3.1



June 29, 2023

Riley Lynch  
Village of Gilberts  
87 Galligan Rd  
Gilberts, Illinois 60136

**RE: Conservancy Park**

Dear Riley,

Public bids for Conservancy Park were opened on June 27, 2023, at 10:01 AM in which Copenhaver Construction, Inc (Copenhaver) is the apparent low bidder. HDG has reviewed the bid submittal and found all required documentation as outlined in Section 000405 Bid Submittal Checklist, except for the receipt acknowledgement of addendum #1. The contents of addendum #1 are primarily plan clarifications are not anticipated to affect the cost of the project.

Following review of the project references listed in Section 000455 Contractor's Qualifications Form, HDG contacted Copenhaver's references and the following questions were asked of the references. Attached are the compiled bid reference check questionnaires that were completed following the bid opening for Conservancy Park using the references provided by Copenhaver.

*Communications*

1. Were they easy to communicate with?
2. Did they initiate communications when problems arose?
3. Were they good problem solvers, did they want to be involved in the solution?
4. Did they follow standard procedures for RFIs, payout applications, etc.?

*Quality*

1. Would you describe their work as detailed oriented?
2. Were there any quality/craftsmanship issues with their or their sub-contractors work?
3. Was any work removed and re-done due to poor quality or non-passing test results?

*Budget/Schedule*

1. Did they initiate a lot of change orders?
2. Was their pricing for Owner requested change orders reasonable?
3. Did they meet the project deadline? If no, why not?

*Miscellaneous*

1. If given the opportunity to hire or recommend them would you?

Based on their references, it appears that Copenhaver has completed many projects that feature good quality construction, are good problem-solvers and are good at coordinating and communicating with all the involved parties, consistently completes their work on time, and are highly recommended by clients/owners. Copenhaver's project references support a minimum of five years' experience for many projects which are a larger scope and size than Conservancy Park. Our conclusions, after reviewing the bid submittal and contacting project references, it appears that Copenhaver has produced reasonable references and has met the bidding and experience requirements.

Please advise us of your decision so we may prepare the AIA contract document and schedule the pre-construction meeting. Should you have any questions regarding this bid review summary, please don't hesitate to call.

22 E. Chicago Avenue  
Suite 200A  
Naperville, Illinois 60540  
630.961.1787

hitchcockdesigngroup.com

*Planning  
Landscape Architecture*



Page 2

Sincerely,  
**Hitchcock Design Group**

A handwritten signature in black ink that reads "Monica Goshorn-Maroney". The signature is written in a cursive style with a horizontal line underneath.

Monica Goshorn-Maroney  
Senior Associate

Attachments: Bid Tabulation: Conservancy Park  
Bid Reference Check Questionnaires

Cc: Eric Hornig, Hitchcock Design Group





## Bid Tabulation

Date: June 26, 2023  
 RE: Conservancy Park

Contractor	Base Bid	Alternate #1: Stone Column Wraps	Addendum 1	Bid Security
Copenhaver Construction, INC	\$ 442,566.00	\$ 32,600.00		x
Great Lakes Landscape Company	\$ 524,732.00	\$ 20,272.00	x	x
Estimate of Probable Cost:	\$ 445,372	\$ 8,820		



## Bid Reference Check Questionnaire

Date: June 28, 2023  
Time: 2PM  
Participants: Kurt Muth / Phone: (630) 256-3232  
Sydney Rushing, Hitchcock Design Group (HDG)

**RE: Conservancy Park, Gilberts IL**

### **Aurora, Wilder Park Improvements**

**Scope:** Playground, site work prep work, perimeter curb. The contractor did rubber surface, area needed grading. Through street was abandoned and refurbished with pedestrian pavers.

#### **Communications**

1. Were they easy to communicate with?  
Yes, I really liked the project manager, Anna.
2. Did they initiate communications when problems arose?  
Yes.
3. Were they good problem solvers, did they want to be involved in the solution?  
Pretty good. Seemed like the project manager didn't have much say in prices.
4. Did they follow standard procedures for RFIs, payout applications, etc?  
Yes, no issues.

#### **Quality**

1. Would you describe their work as detailed oriented?  
Yes.
2. Were there any quality/craftsmanship issues with their or their sub-contractors work?  
Not that I can recall.
3. Was any work removed and re-done due to poor quality or non-passing test results?  
The bricks needed to be touched up due to a few spots that settled.

#### **Budget/Schedule**

1. Did they initiate a lot of change orders?  
I don't think so. Many of the change orders were site dependent and came up as the project was being constructed.
2. Was their pricing for Owner requested change orders reasonable?  
Tends to be a little high
3. Did they meet the project deadline? If no, why not?  
Yes.

#### **Miscellaneous**

1. If given the opportunity to hire or recommend them would you?  
Yes, I would hire them in the future.

cc: Monia Goshorn-Maroney, HD



Date: June 28, 2023  
Time: 2:15PM  
Participants: Chad Pieper, HR Green / Phone: (815) 759-8346  
Sydney Rushing, Hitchcock Design Group (HDG)

**RE: Conservancy Park, Gilberts IL**

**Lake in the Hills, Turtle Island Park Expansion Development  
Project Scope:**

Take a village park and rehab it with a natural area with native plantings, paved path with brick pavers, pavilion with green roof, site furnishings, blue stone path with additional plantings, ADA fishing pier, limestone outcroppings around island itself. Asphalt parking lot modified with some removals. They reinstalled a boat launch for canoes, etc.

**Communications**

1. Were they easy to communicate with?  
Yes, they always had someone available to talk to
2. Did they initiate communications when problems arose?  
Yes
3. Were they good problem solvers, did they want to be involved in the solution?  
In general yes
4. Did they follow standard procedures for RFIs, payout applications, etc?  
A few early RFIs. Otherwise, minor communications later.

**Quality**

1. Would you describe their work as detailed oriented?  
Yes
2. Were there any quality/craftsmanship issues with their or their sub-contractor's work?  
They had an issue with green roof subcontractor-there was a leak in under membrane.
3. Was any work removed and re-done due to poor quality or non-passing test results?  
No. Fix the leak

**Budget/Schedule**

1. Did they initiate a lot of change orders?  
We had a few change orders, they were all reasonable.
2. Was their pricing for Owner requested change orders reasonable?  
Yes.
3. Did they meet the project deadline? If no, why not?  
Yes we did. Some challenges with water and growing crops.



**Miscellaneous**

1. If given the opportunity to hire or recommend them would you?

Yes. They have had a few leaderships change. Chuck P. has been challenging on other projects in the past, but he no longer works there.

---

**General comments:**

Big firm, able to get things accomplished. Access to resources. In general, they would be a good firm to use.

---

cc: Monia Goshorn-Maroney, HDG



Date: June 29, 2023  
Time: 9:30AM  
Participants: Doug Gotham, LA Christopher Burke/ Phone: (847) 823-0500  
referred me to: Katie Gock VOA Recreation superintendent (847) 658-2700 x 2241  
Sydney Rushing, Hitchcock Design Group (HDG)

**RE: Conservancy Park, Gilberts IL**

Algonquin Stoneybrook Park Reconstruction

**Project Scope:** Full site redevelopment. Two playgrounds, pickleball, basketball, parking lot, sand volleyball. This was a full park redevelopment from small to high traffic.

**Communications**

5. Were they easy to communicate with?  
Yes. They have done a lot of work for the VOA. Due to history on other project, they asked for the A team to have the right people in place. The Superintendent was very responsive and answered questions.
6. Did they initiate communications when problems arose?  
Timely, good responsiveness. Clear communication from the get-go.
7. Were they good problem solvers, did they want to be involved in the solution?  
Yes. The engineer had more involvement. They were able to bring things to our attention.
8. Did they follow standard procedures for RFIs, payout applications, etc?  
Yes.

**Quality**

4. Would you describe their work as detailed oriented?  
Yes. With some concessions. There were a few things we had to go back and get corrected. They took care of it in the end. Make sure you walk through and check.
5. Were there any quality/craftsmanship issues with their or their sub-contractors work?  
No.
6. Was any work removed and re-done due to poor quality or non-passing test results?  
A fence was scratched by the sub-contractor and an electrical box installed in the wrong place, but the issues were quickly resolved.

**Budget/Schedule**

4. Did they initiate a lot of change orders?  
No.
5. Was their pricing for Owner requested change orders reasonable?  
Sometimes their quantity person would meet us at the park to get together and



measure the feet of the path, etc. so billing was straightforward. This was helpful to get on the same page.

---

6. Did they meet the project deadline? If no, why not?

Yes, it was an OSALD grant.

---

**Miscellaneous**

2. If given the opportunity to hire or recommend them would you?

Yes with the prenotation that this is what we expect on this job. It is important to set clear expectations from the get-go. They have done a lot of work for the village of Algonquin.

cc: Monia Goshorn-Maroney, HDG





Date: June 28, 2023  
Time: 2:30PM  
Participants: Todd King, Director of Parks and Planning / Phone: (847) 985-2115  
Sydney Rushing, Hitchcock Design Group (HDG)

**RE: Conservancy Park, Gilberts IL**

Schaumburg/Spring Valley Patron Improvements

**Project Scope:**

OSLAD grant project, 4 shelter buildings, pollinator garden, pathways, retaining wall installation, 3 unisex restrooms.

**Communications**

1. Were they easy to communicate with?

Yes

2. Did they initiate communications when problems arose?

Yes, pretty well.

3. Were they good problem solvers, did they want to be involved in the solution?

Yes, they worked with us pretty well on that project.

4. Did they follow standard procedures for RFIs, payout applications, etc?

Yes payouts were good. RFI has a few a issues, but we worked out the hiccups.

**Quality**

1. Would you describe their work as detailed oriented?

Yes, it was.

2. Were there any quality/craftsmanship issues with their or their sub-contractors work?

No.

3. Was any work removed and re-done due to poor quality or non-passing test results?

No.

**Budget/Schedule**

1. Did they initiate a lot of change orders?

No.

2. Was their pricing for Owner requested change orders reasonable?

N/A

3. Did they meet the project deadline? If no, why not?

They did actually, it was a tight deadline.

**Miscellaneous**

1. If given the opportunity to hire or recommend them would you?

Yes.



**General comments:**

This OSLAD project was put on hold in 2020. It was supposed to go out to bid in March 2020 and reopened in August. Copenhagen met all requirements for OSLAD grant, got bid bc they met all qualifications. They got rid of everyone but top-level people at this time and they really did an incredible job. We have had issues in the past. They hit the deadline because they didn't have any other work coming in. A few back orders because of Covid.

cc: Monia Goshorn-Maroney, HDG