

## *Village of Gilberts*

Village Hall: 87 Galligan Road, Gilberts, Illinois 60136

Ph. 847-428-2861 Fax: 847-428-2955

[www.villageofgilberts.com](http://www.villageofgilberts.com)

### **VILLAGE BOARD MEETING AGENDA**

**Tuesday, May 18, 2021 - 7:00 p.m. - Village Hall Board Room**

In accordance with recent amendments to the Open Meetings Act that authorize remote meeting attendance during the COVID-19 pandemic, the Village President has determined that it is not prudent or practical to conduct an in-person meeting for all members of the Board and the public due to the pandemic. Therefore, some of the Village Board members may attend this meeting by electronic means, in compliance with the amended OMA.

In order to comply with the Governor's executive orders regarding limitations on gatherings and to ensure social distancing, members of the public are encouraged to attend the meeting remotely via video or audio as follows:

Zoom (video and/or audio): <https://zoom.us/j/99440941173>

Meeting ID: 994 4094 1173

Dial-In (audio): (312) 626-6799

Members of the public can also submit written comments via email at [info@villageofgilberts.com](mailto:info@villageofgilberts.com). Any comments received by 5:00 p.m. on May 18, 2021 will be submitted into the record of the meeting.

#### **ORDER OF BUSINESS**

##### **1. CALL TO ORDER / PLEDGE OF ALLEGIANCE**

##### **2. ROLL CALL / ESTABLISH QUORUM**

##### **3. PUBLIC COMMENT\***

##### **4. REAPPOINTMENTS**

- A. Reappointment of Chris Asher to the Police Commission for a Term Ending on April 30, 2024
- B. Reappointment of Heather Shelby as Trustee of the Police Pension Board for a Term Ending on April 30, 2023

##### **5. CONSENT AGENDA**

- A. A Motion to approve Minutes from the May 4, 2021 Village Board Meeting
- B. A Motion to approve Bills and Payroll dated May 18, 2021
- C. A Motion to approve Resolution 11-2021, a Resolution Authorizing the Purchase of a 2021 Ford Utility Interceptor from Curry Motors in an Amount Not-to-Exceed \$37,000
- D. A Motion to approve Resolution 12-2021, a Resolution Authorizing Approval of an Agreement with Dahm Enterprises for Annual Sludge Hauling in an Amount Not-to-Exceed \$45,000
- E. A Motion to approve Resolution 13-2021, a Resolution Authorizing the Purchase of a CASE Compact Track Loader from McCann Industries in an Amount Not-to-Exceed \$75,970

- F. A Motion to approve Resolution 14-2021, a Resolution Authorizing the Purchase of a Hustler Mower from B&K Power Equipment Inc. in an Amount Not-to-Exceed \$28,000

**6. ITEMS FOR APPROVAL**

- A. A Motion to approve Ordinance 08-2021, an Ordinance Approving a Variance from the Gilberts Unified Development Ordinance (251 Valencia Parkway)
- B. A Motion to approve Ordinance 09-2021, an Ordinance Approving a Variance from the Gilberts Unified Development Ordinance (315 Pierce Street)
- C. A Motion to approve Ordinance 10-2021, an Ordinance Amending the Village's Unified Development Ordinance Regarding the Keeping of Livestock

**7. ITEMS FOR DISCUSSION**

- A. Resident Presentation Regarding a Request for Village Consideration to Request and Share the Cost of a Sound Wall Along a Portion of Interstate 90 with the Illinois Tollway.

**8. STAFF REPORTS**

**9. TRUSTEE REPORTS**

**10. PRESIDENT'S REPORT**

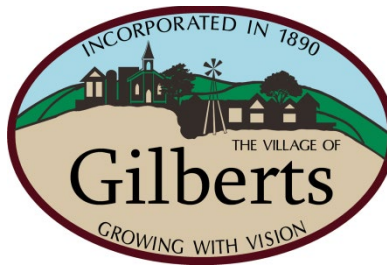
**11. ADJOURNMENT**

**\*Executive Session Information**

A portion of the meeting will be closed to the Public, effective immediately as Permitted by 5 ILCS 120/2(c)(1) to discuss the appointment, employment, compensation, discipline, performance, or dismissal of specific employees of the Village, and as permitted by 5 ILCS 120/2 (c)(11) to discuss litigation against, affecting, or on behalf of the Village which has been filed and is pending in a court or administrative tribunal of which is imminent and as permitted by 5 ILCS 120/2(c)(21) to review and approve closed session minutes and as permitted by 5 ILCS 120/2(c) 2 Collective negotiating matters.

**\*Public Comment Policy**

Anyone indicating a desire to speak during Public Comments portion of the Village Board Meeting will be acknowledged by the Village President. All remarks are to be addressed to the Village President and Board of Trustees as a whole, not to any specific person(s). To ensure that everyone who wishes to speak has the opportunity to do so, please limit your comments to five minutes. Additional time may be granted at the discretion of the Village President. If you have written comments, please provide a copy to the Village President. If there are a number of individuals present to speak on the same topic, please designate a spokesperson that can summarize the issue. During Public Comments, the Village President, Trustees and Staff will listen to comments and will not engage in discussion. The Village President or Trustees may ask questions to better understand your concern, suggestion or request. Please direct any personnel concerns to the Village Administrator before or after the meeting. The Village of Gilberts complies with the Americans Disabilities Act (ADA). For accessibility Assistance, please contact the Village Clerk at the Village Hall, telephone number is 847-428-2861. Assistive services will be provided upon request.



**MINUTES FOR VILLAGE OF GILBERTS  
BOARD OF TRUSTEES MEETING  
Village Hall: 87 Galligan Road, Gilberts, IL 60136  
Meeting Minutes  
Monday, May 4, 2021**

**1. CALL TO ORDER / PLEDGE OF ALLEGIANCE**

Acting President Zambetti called the meeting to order at 7:00 p.m. He proceeded to lead those present in the Pledge of Allegiance.

**2. ROLL CALL / ESTABLISH QUORUM**

Village Clerk Courtney Baker called the roll. Roll call: Members present: Trustees Corbett, Allen, Zambetti, Farrell, Hacker. Trustee Kojzarek was absent. Others present: Village Administrator Brian Bourdeau and Public Works Director Aaron Grosskopf.

**3. PUBLIC COMMENT**

There were no public comments at this time.

**4. ITEMS FOR APPROVAL**

A. A Motion to approve Minutes from the April 27, 2021 Village Board Meeting

**A Motion was made by Trustee Corbett and seconded by Trustee Farrell to Approve Minutes from the April 27, 2021 Village Board Meeting.** Roll call vote: Trustees Corbett, Allen, Zambetti, Hacker, and Farrell voted Aye. 0-nays, 0-abstained. Motion carried.

**5. ITEMS FOR DISCUSSION**

There were no items for discussion at this time.

**6. STAFF REPORTS**

There were no Staff reports at this time.

**7. TRUSTEES' REPORTS**

There were no trustee reports at this time.

## 8. PRESIDENTS' REPORT

There was no president report at this time.

## 9. EXECUTIVE SESSION

An executive session did not take place.

## 11. ADJOURNMENT SINE DIE

There being no further public business to discuss, **a Motion was made by Trustee Farrell and seconded by Trustee Corbett to Adjourn Sine Die.** Voice vote carried unanimously.

## ORDER OF BUSINESS (NEW BOARD)

### 1. SWEARING IN OF THE NEWLY ELECTED VILLAGE PRESIDENT AND TRUSTEES

Clerk Baker swore in the newly elected Village President, Guy Zambetti, and the newly elected Village Trustees; Jeanne Allen, Brandon Coats, David LeClercq Sr., and Justin Redfield.

### 2. CALL TO ORDER

President Zambetti called the new Board to order at 7:05 p.m.

### 3. ROLL CALL/ESTABLISH QUORUM

Clerk Baker called the roll. Roll call: Members present: Trustees LeClercq, Corbett, Allen, Hacker, Coats, and Redfield. Others present: Village Administrator Brian Bourdeau and Public Works Director Aaron Grosskopf.

### 4. PUBLIC COMMENT

There were no public comments at this time.

### 5. APPOINTMENTS

A. Reappointment of Courtney Baker as Village Clerk for a Term Ending on April 30, 2025

**A Motion was made by Trustee Corbett and seconded by Trustee Allen to concur with President Zambetti's recommendation to reappoint Courtney Baker to serve as Village Clerk for a Term Ending on April 30, 2025.** Roll call vote: Trustees Allen, Hacker, Coats, Redfield, LeClercq, and Corbett voted Aye. 0-nays, 0-abstained. Motion carried.

B. Reappointment of Taunya Fischer as Finance Director for a Term Ending on April 30, 2025

**A Motion was made by Trustee Allen and seconded by Trustee LeClercq to concur with President Zambetti's recommendation to reappoint Taunya Fischer as Finance Director for a Term Ending on April 30, 2025.** Roll call vote: Trustees Allen, Hacker, Coats, Redfield, LeClercq, and Corbett voted Aye. 0-nays, 0-abstained. Motion carried.

C. Reappointment of Michael Joswick as Police Chief for a Term Ending on April 30, 2025

D. A Motion to approve the reappointment of Brian Bourdeau as Village Administrator and to approve an Employment Agreement for a Term Ending on April 30, 2025

**A Motion was made by Trustee Corbett and seconded by Trustee LeClercq to concur with President Zambetti's recommendation to reappoint Brian Bourdeau as Village Administrator and to approve an Employment Agreement for a Term Ending on April 30, 2025.** Roll call vote: Trustees Allen, Hacker, Coats, Redfield, LeClercq, and Corbett voted Aye. 0-nays, 0-abstained. Motion carried.

E. Appointment of Constantino Heckerman to the Police Commission to fill a Vacancy for an Unexpired Term Ending April 30, 2023

**A Motion was made by Trustee Corbett and seconded by Trustee Allen to concur with President Zambetti's recommendation to appoint Constantino Heckerman to the Police Commission to fill a Vacancy for an Unexpired Term Ending April 30, 2023.** Roll call vote: Trustees Allen, Hacker, Coats, Redfield, LeClercq, and Corbett voted Aye. 0-nays, 0-abstained. Motion carried.

## **6. CONSENT AGENDA**

- A. Reappointment of Randy Mills as Chairman of the Plan Commission and Zoning Board of Appeals for a Term Ending on May 31, 2022
- B. Reappointment of Robert Borgardt to the Plan Commission and Zoning Board of Appeals for a Term Ending on May 31, 2026
- C. Reappointment of Valerie DeVecchio to the Plan Commission and Zoning Board of Appeals for a Term Ending on May 31, 2026
- D. A Motion to approve Bills & Payroll dated May 4, 2021

President Zambetti asked if any of the board members had any consent agenda items they wished to remove for separate consideration. After hearing none, asked for a motion to approve.

**A Motion was made by Trustee LeClercq and seconded by Trustee Corbett to Approve Consent Agenda items A-D as Presented.** Roll call vote: Trustees Allen, Hacker, Coats, Redfield, LeClercq, and Corbett voted Aye. 0-nays, 0-abstained. Motion carried.

## **7. ITEMS FOR APPROVAL**

**There were no items for approval at this time.**

## **8. ITEMS FOR DISCUSSION**

**There were no items for discussion.**

## **9. STAFF REPORTS**

**There were no staff reports at this time.**

**10. TRUSTEE REPORTS**

**There were no trustee reports at this time.**

**11. PRESIDENT'S REPORT**

**There was no president time at time.**

**12. EXECUTIVE SESSION\***

**An executive session did not take place.**

**13. ADJOURNMENT**

There being no further public business to discuss, **a Motion was made by Trustee Allen and seconded by Trustee Corbett to adjourn from the public meeting at 7:17 p.m.** Voice vote carried unanimously.

Respectfully submitted,

*Courtney Baker*

Courtney Baker  
Village Clerk

Department: 00 GENERAL FUND

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AMALGAMATED BANK OF CHICAGO	GO BOND INTEREST	4,500.00
ANCEL GLINK, P.C.	ESCROWS PAYABLE	6,100.00
IPBC - INTERGOVERNMENTAL PERSONN	EMPLOYEE DENTAL CONTRIBUTION	1,956.75
IPBC - INTERGOVERNMENTAL PERSONN	EMPLOYEE HEALTH INS. CONTRIBUT	27,309.83
IPBC - INTERGOVERNMENTAL PERSONN	EMPLOYEE LIFE INSURANCE	75.75
ROBINSON ENGINEERING, LTD.	ESCROWS PAYABLE	22,833.00
Total: 00 GENERAL FUND		62,775.33

Department: 01 ADMINISTRATIVE

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ANCEL GLINK, P.C.	LEGAL EXPENSE	8,300.00
BEAN'S FARM INC	MAINTENANCE BUILDING	150.00
CALL ONE	COMMUNICATIONS	485.93
CARD SERVICES	PRINTING	212.50
CARD SERVICES	COMMUNITY RELATIONS	16.66
CARD SERVICES	MAINTENANCE EQUIPMENT	450.00
CARD SERVICES	CONTRACTUAL SERVICES	52.98
CARD SERVICES	EMPLOYEE ENGAGEMENT	46.75
CARD SERVICES	TRAINING EXPENSE	149.00
CARD SERVICES	COVID-19	735.30
CARDUNAL OFFICE SUPPLY	OFFICE SUPPLIES	188.67
CURRENT TECHNOLOGIES, INC.	CONTRACTUAL SERVICES	1,694.00
MARCO TECHNOLOGIES LLC	CONTRACTUAL SERVICES	626.84
MENARDS - CARPENTERSVILLE	MAINTENANCE BUILDING	29.98
PADDOCK PUBLICATIONS	LEGAL NOTICES	211.60
PITNEY BOWES	CONTRACTUAL SERVICES	162.60
ROBINSON ENGINEERING, LTD.	ENGINEERING SERVICES	2,741.50
UNION NATIONAL BANK OF ELGIN	73 INDUSTRIAL PRINCIPAL	2,174.76
UNION NATIONAL BANK OF ELGIN	73 INDUSTRIAL INTEREST	1,335.78
VERIZON WIRELESS	COMMUNICATIONS	193.56
Total: 01 ADMINISTRATIVE		19,958.41

Department: 02 POLICE

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CALL ONE	COMMUNICATIONS	324.14
CARD SERVICES	OPERATING EXPENSE	961.18
CARDUNAL OFFICE SUPPLY	OFFICE SUPPLIES	37.86
ELGIN KEY & LOCK CO., INC.	OPERATING EXPENSE	70.00
GALLS INC.	SMALL TOOLS AND EQUIPMENT	205.07
KUSTOM SIGNALS, INC.	SMALL TOOLS AND EQUIPMENT	308.00
MARCO TECHNOLOGIES LLC	CONTRACTUAL SERVICES	57.12
MENARDS - CARPENTERSVILLE	OPERATING EXPENSE	44.95
MENARDS - CARPENTERSVILLE	MAINTENANCE BUILDING	305.82
NORTH EAST MULTI-REGIONAL	DUES	1,520.00
P.F. PETTIBONE & CO.	PRINTING	28.00
STEPHEN D. TOUSEY LAW OFFICE	LEGAL EXPENSE	400.00
SWIFT WASH, LLC	CONTRACTUAL SERVICES	121.50
VERIZON WIRELESS	COMMUNICATIONS	234.85
Total: 02 POLICE		4,618.49

Department: 03 PUBLIC WORKS

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APWA	DUES	360.00
CALL ONE	COMMUNICATIONS	156.79
CARD SERVICES	OPERATING EXPENSE	74.94
CARDUNAL OFFICE SUPPLY	SMALL TOOLS AND EQUIPMENT	81.32
CENTURY SPRINGS	CONTRACTUAL SERVICES	19.00
COMMONWEALTH EDISON	STREETLIGHTING	53.07
ELMUND & NELSON CO.	MAINTENANCE STREETS	5,980.00
LEROY'S LAWN EQUIPMENT	MAINTENANCE EQUIPMENT	340.58
MENARDS - CARPENTERSVILLE	SMALL TOOLS AND EQUIPMENT	44.96

MENARDS - CARPENTERSVILLE	MAINTENANCE STREETS	35.92
MORTON SALT	MAINTENANCE STREETS	30,982.25
NAPA AUTO PARTS	MAINTENANCE VEHICLES	23.50
THE BUG MAN, INC	CONTRACTUAL SERVICES	225.00
VERIZON WIRELESS	COMMUNICATIONS	177.01
Total: 03 PUBLIC WORKS		38,554.34

Department: 04 BUILDING

B&F CONSTRUCTION CODE SVC, INC	BUILDING PERMIT EXPENSE-PASS T	90.00
CALL ONE	COMMUNICATIONS	178.58
MARCO TECHNOLOGIES LLC	CONTRACTUAL SERVICES	102.83
VERIZON WIRELESS	COMMUNICATIONS	59.02
Total: 04 BUILDING		430.43

Department: 06 PARKS

CALL ONE	COMMUNICATIONS	209.14
CARD SERVICES	MAINTENANCE EQUIPMENT	324.00
Total: 06 PARKS		533.14

Department: 08 GARBAGE HAULING

MDC ENVIRONMENTAL SVCS.	GARBAGE HAULING EXPENSE	55,627.34
Total: 08 GARBAGE HAULING		55,627.34

Department: 10 WATER SYSTEMS

AQUA BACKFLOW, INC.	CONTRACTUAL SERVICES	36.45
CALL ONE	COMMUNICATIONS	465.20
COMPASS MINERALS AMERICA	BRINE HAULING EXPENSES	5,846.19
CONSTELLATION NEWENERGY, INC.	UTILITIES	6,805.58
HACH COMPANY	CAPITAL EQUIPMENT	7,934.00
MARCO TECHNOLOGIES LLC	CONTRACTUAL SERVICES	9.52
MENARDS - CARPENTERSVILLE	SMALL TOOLS AND EQUIPMENT	189.99
PDC LABORATORIES, INC	LABORATORY TESTING	185.00
POLLARD WATER	LAB SUPPLIES & EQUIPMENT	1,232.00
USA BLUEBOOK	LAB SUPPLIES & EQUIPMENT	1,117.94
VERIZON WIRELESS	COMMUNICATIONS	133.45
VIKING CHEMICAL CO	CHEMICALS	641.50
Total: 10 WATER SYSTEMS		24,596.82

Department: 20 WASTEWATER SYSTEMS

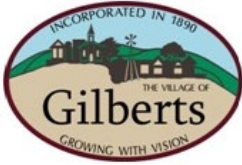
CALL ONE	COMMUNICATIONS	185.59
CONSTELLATION NEWENERGY, INC.	UTILITIES	2,525.62
DRYDON EQUIPMENT, INC	MAINTENANCE PARTS & MATERIALS	1,658.82
MARCO TECHNOLOGIES LLC	CONTRACTUAL SERVICES	9.52
MENARDS - CARPENTERSVILLE	MAINTENANCE BUILDING	75.88
NICOR	UTILITIES	135.28
USA BLUEBOOK	MAINTENANCE PARTS & MATERIALS	591.68
VERIZON WIRELESS	COMMUNICATIONS	133.46
Total: 20 WASTEWATER SYSTEMS		5,315.85

Department: 90 GENERAL P/W PROJECTS EXPENSES

TRAFFIC CONTROL & PROTECTION	SIGNS EXPENSE	61.80
Total: 90 GENERAL P/W PROJECTS EXPENSES		61.80

\*\*\* GRAND TOTAL \*\*\* 212,471.95





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**To:** President Zambetti and Board of Trustees  
**From:** Brian Bourdeau, Village Administrator  
Mike Joswick, Police Chief  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 5.C: Resolution Authorizing the Purchase of a 2021 Ford Interceptor from Currie Motors in an Amount Not to Exceed \$37,000

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Included in the Fiscal Year 2022 Budget was the purchase of a 2021 Ford Utility Police Interceptor and related equipment. Presented for consideration is a Resolution authorizing the purchase of a 2021 Ford Utility Police Interceptor from Currie Motors in the amount of \$37,000. The car is being purchased from Currie Motors through the Suburban Purchasing Cooperative.



**2021 Ford Utility Police Interceptor AWD Hybrid  
Contract #152**



**Currie Motors Commercial Center**  
Your Full Line Municipal Dealer

"Nice People to do Business With"

**HYBRID MOTOR STANDARD  
MARK OPTION 99B FOR GASOLINE MOTOR**

**ORDER CUT OFF APRIL 2021  
PRODUCTION BEGINS SEPTEMBER 2020**



**2021 Ford Utility Police Interceptor AWD Hybrid  
Contract #152**

**\$35,259**

*\$ 33,733 Total*

**MECHANICAL**

- 3.3L Police-Calibrated V6 Direct-Injection Hybrid Engine System
- Standard (Hybrid technology is optimal for performance and long days spent idling on the job)
- AWD Drivetrain – Standard for enhanced handling precision and unsurpassed traction on wet or dry surfaces
- Transmission – 10-speed automatic, police calibrated for maximum acceleration and faster closing speeds
- Lithium-Ion Battery Pack
- Brakes – Police calibrated high-performance regenerative braking system
- 4-Wheel heavy-duty disc w/heavy-duty front and rear calipers
- Brake Rotors – large mass for high thermal capacity and calipers with large swept area.
- Electric Power-Assist Steering (EPAS) – Heavy-Duty DC/DC converter – 220-Amp (in lieu of alternator)
- H7 AGM Battery (Standard; 800 CCA/80-amp)
- Cooling System – Heavy-duty, large high volume radiator, Engine oil cooler and transmission oil cooler
- Engine Idle Hour Meter
- Engine Hour Meter
- Powertrain mounts – Heavy-Duty

**50-State Emissions System**

**INTERIOR/COMFORT**

- Cargo Area – Spacious area for police equipment; Lithium-Ion Battery Pack does not intrude into the cargo area
- Cargo Hooks
- Climate Control – Dual-Zone Electronic Automatic Temperature Control (DEATC)
- Door-Locks – Power – Rear-Door Handles and Locks Operable ● Fixed Pedals (Driver Dead Pedal)
- Floor – Flooring – Heavy-Duty Thermoplastic Elastomer
- Glove Box – Locking/non-illuminated
- Grab Handles – (1 – Front-passenger side, 2-Rear)
- Liftgate Release Switch located in overhead console (45 second timeout feature)
- Lighting – Overhead Console – Red/White Task Lighting in
- Overhead Console – 3rd row overhead map light
- Mirror – Day/night Rear View
- Particulate Air Filter
- Powerpoints – (1) First Row
- Rear-window Defrost
- Scuff Plates – Front & Rear
- Speed (Cruise) Control
- Speedometer – Calibrated (includes digital readout)
- Steering Wheel – Manual / Tilt, Urethane wheel finish w/Silver Painted Bezels with Speed Controls and 4-user configurable latching switches
- Sun visors, color-keyed, non-illuminated

**INTERIOR/COMFORT (CONTINUED)**

- Seats – 1st Row Police Grade Cloth Trim, Dual Front Buckets with reduced bolsters – 1st Row – Driver 6-way Power track (fore/aft. Up/down, tilt with manual recline, 2-way manual lumbar) – 1st Row – Passenger 2-way manual track (fore/aft. with manual recline) – Built-in steel intrusion plates in both driver/passenger seatbacks – 2nd Row Vinyl, 35/30/35 Split Bench Seat (manual fold-flat, no tumble) – fixed seat track
  - Universal Top Tray – Center of I/P for mounting aftermarket equipment
  - Windows, Power, 1-touch Up/Down Front Driver/Passenger-Side with disable feature
- EXTERIOR**
- Antenna, Roof-mounted Cladding – Lower bodyside cladding MIC ● Door Handles – Black (MIC)
  - Exhaust True Dual (down-turned)
  - Front-Door-Lock Cylinders (Front Driver / Passenger / Liftgate)
  - Glass – 2nd Row, Rear Quarter and Liftgate Privacy Glass
  - Grille – Black (MIC)
  - Headlamps – Automatic, LED Low-and-High-Beam Note: Includes Front Headlamp / Police Interceptor Housing (with LED wig-wag feature) – Pre-drilled hole for side marker police use, does not include LED strobe, but includes LED wig-wag functionality (eliminates need to drill housing assemblies and provides LED wig-wag feature) – Pre-molded side warning LED holes with standard sealed capability (does not include LED installed lights)
  - Liftgate – Manual 1-Piece – Fixed Glass w/Door-Lock Cylinder ● Mirrors – Black Caps (MIC), Power Electric Remote, Manual Folding with Integrated Spotter (integrated blind spot mirrors not included when equipped with BLIS®)
  - Spare – Full size 18" Tire w/TPMS
  - Spoiler – Painted Black Tailgate Handle – (MIC)
  - Tail lamps – LED
  - Tires – 255/60R18 A/S BSW
  - Wheel-Lip Molding – Black (MIC)
  - Wheels – 18" x 8.0 painted black steel with wheel hub cover
  - Windshield – Acoustic Laminated
- POLICE UPFIT FRIENDLY**
- Consistent 11-inch space between driver and passenger seats for aftermarket consoles (9-inch center console mounting plate)
  - Console mounting plate
  - Dash pass-thru opening for aftermarket wiring
  - Headliner – Easy to service
  - Two (2) 50 amp battery ground circuits – power distribution junction block (repositioned behind 2nd row seat floorboard).

**SAFETY/SECURITY HIGHLIGHTS**

- 75-mph Rear-impact Crash Tested

**Note:** The full-size spare tire secured in the factory location is necessary to achieve police-rated 75-mph rear impact crash-test performance attributes

- AdvanceTrac® w/RSC® (Roll Stability Control™) police tuned gyroscopic sensors work seamlessly with the ABS
- Rear Video Camera with Washer (standard)
- Airbags, dual-stage driver & front-passenger, side seat, passenger-side knee, Roll Curtain Airbags and Safety Canopy®
- Anti-Lock Brakes (ABS) with Traction Control Brakes – Police calibrated high-performance regenerative braking system
- Belt-Minder® (Front Driver / Passenger)
- Child-Safety Locks (capped)
- Individual Tire Pressure Monitoring System (TPMS)
- LATCH (Lower Anchors and Tethers for Children) system on rear outboard seat locations
- Seat Belts, Pretensioner/Energy-Management System w/adjustable height in 1st Row
- SOS Post-Crash Alert System™

**WARRANTY**

- 3 Year / 36,000 Miles Bumper / Bumper
- 8 Year / 100,000 Miles Hybrid Unique Components

**FUNCTIONAL**

- Audio — AM/FM / MP3 Capable / Clock / 4-speakers — Bluetooth® interface — 4.2" Color LCD Screen Center-Stack "Smart Display" Note: Standard radio does not include USB Port or Aux. Audio Input ●Jack; Aux. Audio Input Jack requires SYNC 3®
  - Easy Fuel® Capless Fuel-Filler
  - Ford Telematics™ – Includes Ford Modem and complimentary 2- year trial subscription
  - Front door tether straps (driver/passenger)
  - Power pigtail harness
  - Recovery Hooks; two in front and trailer bar in rear
  - Simple Fleet Key (w/o microchip, easy to replace; 4-keys)
  - Two-way radio pre-wire
  - Two (2) 50 amp battery ground circuits – power distribution junction block (behind 2nd row passenger seat floorboard)
  - Wipers – Front Speed-Sensitive Intermittent; Rear Dual Speed Wiper
- POWERTRAIN CARE EXTENDED SERVICE PLAN**
- 5-year/100,000-mile Powertrain CARE Extended Service Plan (zero deductible) – Standard

<input checked="" type="checkbox"/> 99B	<b>3.3L V-6 TIVCT Gasoline Motor</b>	<b>-\$3,165</b>
<input type="checkbox"/> 99C	3.0 V-6 Eco-Boost Engine	\$743
<input checked="" type="checkbox"/> 41H	Engine Block Heater	\$85
<input type="checkbox"/> 19K	H8 AGM Battery (900 CCA/92 AMP)	\$103
<input checked="" type="checkbox"/> 43D	Dark Car Feature—Courtesy Lights Inoperative	\$24
<input type="checkbox"/> 942	Daytime Running Lights	\$42
<input checked="" type="checkbox"/> 17T	Dome Lamp Red/White Cargo Area	\$47
<input checked="" type="checkbox"/> 51R	Spot Light Drivers Side LED Bulb—Unity	\$371
<input type="checkbox"/> 51T	Spot Light Drivers Side LED Bulb—Whelen	\$394
<input type="checkbox"/> 51S	Spot Light Dual LED Bulbs—Unity	\$582
<input type="checkbox"/> 51V	Spot Light Dual LED Bulbs—Whelen	\$625
<input type="checkbox"/> 51P	Spot Lamp Prep Kit—Driver Side <b>(does not include housing &amp; bulb)</b>	\$132
<input type="checkbox"/> 51W	Spot Lamp Prep Kit—Dual Side <b>(does not include housing &amp; bulb)</b>	\$264
<input type="checkbox"/> 21L	Front Auxiliary Light Red/Blue	\$517
<input type="checkbox"/> 60A	Prewiring Grille Lamp, Siren, Speaker	\$47
<input type="checkbox"/> 63B	Side Marker LED—Red/Blue—requires option 60A	\$273
<input type="checkbox"/> 63L	Rear Quarter Glass Side Marker Lights—Red/Blue	\$541
<input type="checkbox"/> 87R	Rearview Camera—Includes Electrochromic Rearview Mirror <b>(replaces standard camera in center stack area)</b>	N/C
<input type="checkbox"/> 19V	Rear Camera-On-Demand	\$217
<input type="checkbox"/> 76P	Pre-Collision Assist w/ Pedestrian Detection <b>(N/A w/ 96W)</b>	\$136
<input type="checkbox"/> 68B	Police Perimeter Alert	\$641
<input checked="" type="checkbox"/> 68G	Rear Door Handles Inoperable/Locks Inoperable	\$71
<input type="checkbox"/> 52P	Hidden Door Lock Plunger w/ Rear Door Handles Inoperable	\$150
<input checked="" type="checkbox"/> 16C	1 <sup>st</sup> & 2 <sup>nd</sup> Row Carpet Floor Covering <b>(includes mats)</b>	\$118
<input checked="" type="checkbox"/> 18D	Global Lock/Unlock <b>(Disables Auto Lock on Rear Hatch)</b>	\$24
<input type="checkbox"/> 87P	Power Passenger Seat (8-Way) w/ manual recline/lumbar	\$306
<input type="checkbox"/> 85D	Front Console Plate Delete	N/C
<input type="checkbox"/> 85R	Rear Console Plate	\$42
<input type="checkbox"/> 90D	Ballistic Door Panels—Level III Driver Front Only	\$1,506
<input type="checkbox"/> 90E	Ballistic Door Panels—Level III Driver/Passenger Front	\$3,012
<input type="checkbox"/> 90F	Ballistic Door Panels—Level IV Driver Front Only	\$2,294
<input type="checkbox"/> 90G	Ballistic Door Panels—Level IV Driver/Passenger Front	\$4,588
<input type="checkbox"/> 96W	Front Interior Windshield Warning Lights N/A with 76P	\$1,087
<input type="checkbox"/> 96T	Rear Spoiler Traffic Light <b>(requires 60A)</b>	\$1,405
<input type="checkbox"/> 55B	BLIS Blind Spot Monitoring <b>(includes manual heated mirrors)</b>	\$512
<input type="checkbox"/> 52T	Class III Trailer Tow Light Wiring Package	\$76
<input checked="" type="checkbox"/> 549	Mirrors—Heated Side view	\$56

<input type="checkbox"/>	593	Perimeter Anti-Theft Alarm—(Requires Keyless 55F)	\$112
<input type="checkbox"/>	55F	Keyless Entry—4 Fobs	\$320
<input type="checkbox"/>	43A	Rear Auxiliary Lights	\$371
<input type="checkbox"/>	47E	12.1" Screen	\$2,580
<input type="checkbox"/>	61B	OBD-II Split Connector	\$52
<input type="checkbox"/>	68E	Noise Suppression Kit	\$183
<input type="checkbox"/>	76D	Deflector Plate	\$315

<input type="checkbox"/>	76R	Reverse Sensing	\$261
<input checked="" type="checkbox"/>		Keyed Alike Code <u>1284</u> Please Specify Current Keyed Alike Code	\$47
<input type="checkbox"/>	65L	18" 5 Spoke Full Face Wheel Covers w/ Metal Clips	\$56
<input type="checkbox"/>	64E	18" Painted Aluminum Wheels	\$451
<input type="checkbox"/>	17A	Aux Air Conditioning	\$573
<input type="checkbox"/>	16D	Badge Delete	N/C
<input type="checkbox"/>	63V	Cargo Storage Vault—(lockable/ideal for contraband/small arms)	\$230
<input type="checkbox"/>	60R	Noise Suppression Bonds (Ground Straps)	\$94
<input type="checkbox"/>	18X	100 Watt Siren/Speaker (includes bracket & pigtail)	\$296
<input checked="" type="checkbox"/>	47A	Engine Idle Control	\$385
<input type="checkbox"/>		Rustproofing (Sound shield N/A)	\$395
<input type="checkbox"/>		4 Corner LED Strobes (aftermarket using 86T)	\$895
<input type="checkbox"/>		CD-ROM Service Manual	\$325
<input checked="" type="checkbox"/>		Delivery Greater than 50 Miles of Dealership	\$150
<input checked="" type="checkbox"/>		License & Title—Municipal____Municipal Police____	\$203
<input type="checkbox"/>		License & Title—Passenger Plates	\$221
<input type="checkbox"/>		Dealership Handled License Plate Transfer	\$95
<input type="checkbox"/>		Manufacturer's Statement of Origin (MSO) / Customer completes their own license & title work for the municipality.	N/C

<input type="checkbox"/>		ESP Extended Warranty Extra Care 5 Year/100,000 Miles	\$1,940
<input type="checkbox"/>		ESP Extended Warranty Base Care 3 Year/100,000 Miles	\$1,710
<input type="checkbox"/>		ESP Extended Warranty Powertrain 6 Year/100,000 Miles	\$1,795
<input type="checkbox"/>		ESP Extended Warranty Base Care 6 Year/100,000 Miles	\$1,850

<input type="checkbox"/>	67V	<b>Police Wire Harness Connector Kit</b> —Front/Rear <b>Front</b> —2 male 4-pin connectors for siren, 5 female 4-pin connectors for lighting/siren/speaker, 4-pin IP connector for speakers, 4-pin IP connector for siren controller connectivity, 8-pin sealed connector, & 14-pin IP connector <b>Rear</b> — 2 male 4-pin connectors for siren, 5 female 4-pin connectors for lighting/siren/speaker, 4-pin IP connector for speakers, 4-pin IP connector for siren controller connectivity, 8-pin sealed connector, & 14-pin IP connector	\$174
<input type="checkbox"/>	66A	<b>Front Headlamp Lighting Solution</b> —Includes Base LED low beam/halogen high beam w/ wig-wag function, 2 white LED side warning lights, wiring, LED lights included, controller <b>not</b> included (N/A w/ 67H) Recommend using 67G or 67U	\$850
<input type="checkbox"/>	65U	<b>Police Interior Upgrade Package</b> —1 <sup>st</sup> & 2 <sup>nd</sup> row carpet floor covering, rear cloth seats, center floor console less shifter—include console. Deletes standard console mounting plate. SYNC 3 (Enhanced Voice Recognition Communications and Entertainment System), 4.2 Color LCD Screen Center Stack, Applink, & 911 Assist (N/A w/ 67G, 67H, 67U)	\$367

<input type="checkbox"/> 66C	<b>Rear Lighting Solution</b> —Includes two backlit flashing LED lights (mounted to inside lift gate glass), two lift gate flashing LED lights (N/A w/ 67H)	\$428
<input type="checkbox"/> 66B	<b>Tail Lamp Lighting Solution</b> —Recommend using Ultimate Wiring Package (67U). Includes LED lights plus (2) rear integrated hemispheric light head white LED side warning lights in tail lamps. LED lights only. Wiring and controller not included.	\$405
<input checked="" type="checkbox"/> 86T	<b>Tail lamp Housing Only</b> —Includes pre-existing holes with standard twist lock sealed capability, does not include LED lights (N/A w/ 66B, 67H)	\$58
<input type="checkbox"/> 67U	<b>Ultimate Wiring Package</b> —Includes rear console mounting plate (85R)—contours through 2 <sup>nd</sup> row, channel for wiring, pre-wiring for grille LED lights, siren & speaker, wiring harness I/P to rear (overlay), 2 light cables—supports up to 6 LED lights (engine compartment/grille), 2 50 amp battery & ground circuits in RH rear quarter, 1 10 amp siren/speaker circuit engine cargo area, rear hatch/cargo area wiring—supports up to 6 rear LED lights (N/A w/ 65U, 67G, 67H)	\$526
<input type="checkbox"/> 67H	<b>Ready for the Road—All-in Complete Package—Includes Police Interceptor Packages 66A, 66B, 66C plus—</b> <ul style="list-style-type: none"> <li>• Whelen Cencom Light Controller</li> <li>• Whelen Concom Relay Center/Siren Amp w/ Traffic Advisor</li> <li>• Light Controller/Relay Cencom Wiring</li> <li>• Grille LED Lights</li> <li>• 100 Watt Siren/Speaker</li> <li>• 9 I/O Digital Serial Cable (console to cargo)</li> <li>• Hidden Door Lock Plunger &amp; Read Door Handles Inoperable</li> <li>• Rear Console Mounting Plate</li> </ul> (N/A w/ 66A, 66B, 66C, 67G, 67U, 65U)	\$3,415

<input type="checkbox"/> BU	Medium Brown Metallic	N/C
<input type="checkbox"/> E3	Arizona Beige Metallic Clear coat	N/C
<input type="checkbox"/> E4	Vermillion Red	N/C
<input type="checkbox"/> FT	Blue Metallic	N/C
<input type="checkbox"/> HG	Smokestone Metallic	N/C
<input type="checkbox"/> J1	Kodiak Brown Metallic	N/C
<input type="checkbox"/> JL	Dark Toreador Red Metallic	N/C
<input type="checkbox"/> JS	Iconic Silver Metallic	N/C
<input type="checkbox"/> M7	Carbonized Gray	N/C
<input type="checkbox"/> LK	Dark Blue	N/C
<input type="checkbox"/> LM	Royal Blue	N/C
<input type="checkbox"/> LN	Light Blue Metallic	N/C
<input type="checkbox"/> TN	Silver Grey Metallic	N/C
<input type="checkbox"/> UJ	Sterling Grey Metallic	N/C
<input checked="" type="checkbox"/> UM	Agate Black	N/C
<input type="checkbox"/> YG	Medium Titanium Metallic	N/C
<input type="checkbox"/> YZ	Oxford White	N/C

<input checked="" type="checkbox"/>	Charcoal Black w/ Vinyl Rear	N/C
<input type="checkbox"/>	Charcoal Black w/ Cloth Rear	\$58

Total # 33,733



Please complete the following in its entirety.

**Title Information:**

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**Contact Name:**

**Phone Number:**

**Purchase Order Number:**

**Ford FIN Code:**

**Tax Exempt Number:**

**Total Number of Units:**

**Total Dollar Amount:**

**Delivery Address:**

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**Orders require an original signed purchase order & tax exempt letter.  
Scheduled Orders Cannot be canceled**

Currie Motors Commercial Center  
10125 W. Laraway Road  
Frankfort, IL 60423  
(815) 464-9200

Kristen De La Riva [fleetcurrie@gmail.com](mailto:fleetcurrie@gmail.com)  
Tom Sullivan [tsullivan@curriemotors.com](mailto:tsullivan@curriemotors.com)



**VILLAGE OF GILBERTS**

**RESOLUTION 11-2021**

**A RESOLUTION APPROVING THE PURCHASE OF A 2021 FORD UTILITY INTERCEPTOR FROM CURRY MOTORS IN AN AMOUNT NOT TO EXCEED \$37,000**

**WHEREAS**, the Village of Gilberts (“Village”) operates a Municipal Police Department; and

**WHEREAS**, the Village included the purchase of a replacement police squad car as part of the Fiscal Year 2021 Budget; and

**WHEREAS**, the Village has obtained pricing through the Northwest Municipal Conference Suburban Purchasing Cooperative Contract 152 from Currie Motors;

**THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF GILBERTS, ILLINOIS**, as follows:

**Section 1. Recitals.** The recitals set forth above are hereby incorporated into and made a part of this Resolution as though set forth in this Section 1.

**Section 2. Approval; Authorization.** The Village Board of Trustees hereby authorizes the Village Administrator to execute the necessary documents to facilitate the purchase of a 2021 Ford Utility Police Interceptor for the Gilberts Police Department from Currie Motors in an amount not to exceed \$37,000.

**Section 3. Effective Date.** This Resolution shall be in full force and effect after its approval in the manner provided by law.

**PASSED BY VOTE OF THE BOARD OF TRUSTEES** of the Village of Gilberts, Kane County, Illinois, this \_\_\_\_ day of \_\_\_\_\_ 2021.

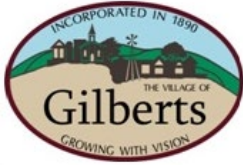
	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Dan Corbett	_____	_____	_____	_____
Trustee David LeClercq Sr.	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Guy Zambetti, Village President

(SEAL)

ATTEST: \_\_\_\_\_  
Courtney Baker, Village Clerk



## Village of Gilberts

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

**To:** President Zambetti and the Board of Trustees  
**From:** Brian Bourdeau, Village Administrator  
Aaron Grosskopf, Public Works Director  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 5.D: Resolution Authorizing Approval of an Agreement for Sludge Hauling Services for the Village's Wastewater Treatment Facility Through Dahm Enterprises.

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Annually, the Village of Gilberts removes the sludge build-up from the digester tanks. This procedure is part of the yearly maintenance of a wastewater treatment facility. The Village performs this process by pumping sludge out of the digester tanks directly into a tanker, where it is hauled off by the contractor and spread out onto a field designated to take waste.

Last year, as you may recall, Village Staff sought three quotes from different vendors for a one-year contract with the ability to renew for two additional years. Dahm Enterprises submitted the lowest price of the three vendors and performed the first year of the contract. This marks the second year of the program for agreed-upon pricing.

Below you will find the table of prices proposed to the Village:

Dahm Enterprises	Synagro	Steward Spreading
.068 Per Gallon	.075 Per Gallon	.078 Per Gallon

Attached you will find Dahm Enterprises quote for services.

Village Staff is requesting the approval of the Village Board of Trustees to utilize funds from account 20-20-5450 (Contractual Services) in a not-to-exceed amount of \$45,000.00 to Dahm Enterprises for the annual hauling of sludge from the Village Wastewater Facilities.



***Woodstock, IL***

June 10, 2020

Village of Gilberts Wastewater Treatment Plant  
320 Raymond Dr.  
Gilberts, IL 60136

Liquid Sludge Disposal

Dear Mr. John Castillo,

Dahm Enterprises, Inc. proposes to furnish all skills, personnel and equipment to complete the liquid sludge hauling and disposal. Land application will adhere to all guidelines set by the IEPA. Dahm will supply an operating report following the project. Pumping equipment will be supplied along with personnel to operate. A disposal site will be included. The hauling will be done when weather permits. The project is an annual occurrence and is estimated to take 3-4 days. Volume of sludge is 650,000 gallons per occurrence. We understand this is an estimate and may be higher or lower.

Compensation for the hauling and land application of the liquid sludge will be \$.068/gallon. This price reflects a 3 year agreement. A load sheet will be used during hauling to record the amount of liquid hauled.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Bryan Dahm", is written over the signature line.

Bryan Dahm  
President  
Dahm Enterprises, Inc.  
815-482-2088

Accepted By:

Village of Gilberts Representative

**VILLAGE OF GILBERTS**

**RESOLUTION 12-2021**

**A RESOLUTION AUTHORIZING APPROVAL OF AN AGREEMENT WITH DAHM ENTERPRISES FOR ANNUAL SLUDGE HAULING IN AN AMOUNT NOT TO EXCEED \$45,000**

**WHEREAS**, the Village of Gilberts (“Village”) operates and maintains a sanitary sewer and treatment system; and

**WHEREAS**, the Village annually budgets for and performs routine system maintenance, including sludge hauling for which \$45,000 was budgeted in Fiscal Year 2022; and

**WHEREAS**, the Village solicited multiple quotes in 2020 with Dahm Enterprises submitting the lowest quote of \$0.068 per gallon for a one-year contract with the option to renew annually for an additional two years at a fixed rate with 2021 representing the first renewal.

**THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF GILBERTS, ILLINOIS**, as follows:

**Section 1. Recitals.** The recitals set forth above are hereby incorporated into and made a part of this Resolution as though set forth in this Section 1.

**Section 2. Approval; Authorization.** The Village Board of Trustees hereby authorizes the Village Administrator to execute an agreement and other necessary documents with Dahm Enterprises for sludge hauling in Fiscal Year 2022 in an amount not-to-exceed \$45,000.

**Section 3. Waiver of Competitive Bidding.** To the extent any competitive bidding requirements apply to the agreement between the Village and Dahm Enterprises for sludge hauling they are hereby waived pursuant to Section 8-9-1 of the Illinois Municipal Code (65 ILCS 5/8-9-1).

**Section 4. Effective Date.** This Resolution shall be in full force and effect after its approval in the manner provided by law.

**PASSED BY VOTE OF THE BOARD OF TRUSTEES** of the Village of Gilberts, Kane County, Illinois, this \_\_\_\_ day of \_\_\_\_\_ 2021.

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Dan Corbett	_____	_____	_____	_____
Trustee David LeClerc Sr.	_____	_____	_____	_____

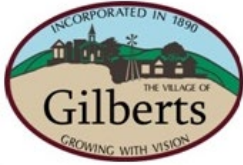
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Guy Zambetti, Village President

(SEAL)

ATTEST: \_\_\_\_\_  
Courtney Baker, Village Clerk



## Village of Gilberts

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
[www.villageofgilberts.com](http://www.villageofgilberts.com)

**To:** President Zambetti & Board of Trustees  
**From:** Brian Bourdeau, Village Administrator  
Aaron Grosskopf, Public Works Director  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 5.E: Resolution Approving the Purchase of a CASE Compact Track Loader TR340B

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The Public Works Department currently utilizes a wheeled skid steer to assist in multiple jobs and tasks completed throughout the Village. Tasks such as spreading dirt, woodchips, and gravel are considerably eased by having a reliable skid steer to perform the work. Other tasks such as storm drain repairs, road work, sidewalk repair/replacement, and open ditch corrections are also immensely benefited by utilizing this piece of equipment.

The current skid steer is over 20 years old, and the Village purchased the equipment over 18 years ago. Recently, the skid steer has been unreliable for ignition and has had control issues inside the cab. At this point, the cost of correcting the problems outweighs the value of the skid steer. The current skid steer is also a tire variation, making it more prone to damaging the grass and causing damage when moving over different landscaped than a track variant.



Purchasing a track variant would also make the machine more capable of parking lot snow removal. Wheel skid steers are more prone to slipping in inter conditions and are more challenging to control than the track style. Having a skid steer would open up more options for the Public Works crew when performing snow removal operations. This is particularly true for the Police Department Parking lot, which is smaller and more challenging to bring a plow truck to clear snow.

The total price for this purchase is \$72,353.00, which includes delivery, training, and a two year/2000-hour warranty. Village staff is adding a 5% contingency to the not-to-exceed amount in case of any last-minute alterations. The total approved budgeted amount for this purchase is \$76,000.00. Please see the attached spec sheet and provided quote from McCann Industries for details on pricing.

Through Sourcewell contract# 032119, Valid until 05/19/2023, a 26% discount is offered to purchase this specific model of Compact Trac Loader (Please see attached discount schedule). McCann Industries is offering to match the 26% discount provided through the Sourcewell contract and an additional \$3,000.00 value (reflected in the quote) for purchasing through a CASE-certified

vendor. We ask the board to waive competitive bidding for this purchase, matching and exceeding the competitively bid Sourcewell contract.

Village Staff requests the approval from the Village Board of Trustees to expend budgeted funds from line item 01-03-5480 (Capital Equipment) in a not-to-exceed amount of \$75,970.00, for the purchase of a CASE Compact Trac Loader Model TR340B.



March 26<sup>th</sup>, 2021

**Aaron Grosskopf - Public Works Director**  
**Village of Gilberts, Illinois**  
**73 Industrial Avenue**  
**Gilberts, IL. 60136**

Mr. Grosskopf,

McCann Industries, Inc. is pleased to formally propose (1) New Case TR340B Compact Track Loader with Hi-Flow Plus Auxiliary Hydraulics and the following equipment: 2-Speed Mechanical Drive, Cab with LCD Display and Rear View Camera, Heat & AC, Demo Front Door, Heavy Duty Light Package, Heavy Duty Hydraulic Attachment Coupler, Block Heater, Mechanical Self Leveling Bucket (up), Ride Control, 14 Pin Connector (for Attachments), (1) 78" Smooth Bucket with Bolt-On Edge, (1) 78" Integrated Tooth Bucket with Case Replaceable Teeth, and a (2) Year/2,000 Hour (whichever 1st) Case Factory Warranty.

\$98,833.00 – Factory List Price  
(25,697.00) – Less 26% Contract Discount  
\$73,136.00 – Sub-Total  
+ 875.00 – Factory Freight  
+ 1,042.00 – Dealer Set-Up  
+ 300.00 – Local Delivery  
\$75,353.00 – Delivered Price  
( 3,000.00) – Less Case Direct Discount  
\$72,353.00 – Delivered Price

We appreciate the opportunity and your consideration.  
Please call with any questions.

Respectfully,

*Dennis J Tovar*

**Dennis J. Tovar**  
**Territory Manager, Heavy Equipment Group**  
**McCann Industries, Inc.**  
**Cell - 630-774-8830 / [dtovar@mccannonline.com](mailto:dtovar@mccannonline.com)**

**Illinois**

**Addison**

543 S. Rohlwing Rd.  
Addison, IL 60101  
Phone: (630) 627-0000  
Fax: (630) 627-8711

**Bolingbrook**

250 E. North Frontage Rd.  
Bolingbrook, IL 60440  
Phone: (630) 739-7770  
Fax: (630) 739-7699

**Chicago**

2350 S. Laflin St.  
Chicago, IL 60608  
Phone: (312) 942-9200  
Fax: (312) 421-3502

**Crestwood**

4701 West 137th St.  
Crestwood, IL 60445  
Phone: (708) 597-3110  
Fax: (708) 597-9945

**McHenry**

4102 W. Crystal Lake Rd.  
McHenry, IL 60050  
Phone: (815) 385-0420  
Fax: (815) 385-2975

**Wauconda**

1360 N. Rand Rd.  
Wauconda, IL 60084  
Phone: (847) 526-9444  
Fax: (847) 526-9448

**Indiana**

**Schererville**

1133 Indianapolis Blvd.  
Schererville, IN 46375  
Phone: (219) 865-6545  
Fax: (219) 865-0269



## ENGINE

Model	FPT F5B FL413 D*C001
Emissions Certification	Tier 4 Final
Type	Diesel, Turbo – Direct Injection
Cylinders	4
Bore/Stroke	3.9 x 4.3 in (99 x 110 mm)
Displacement	207 in <sup>3</sup> (3.4 L)
Fuel injection	Direct
Fuel	#2 Diesel
Fuel filter:	
Pre-filter	Beta (30) = 200/spin-on
Main filter	Beta (4) = 20/spin-on
Air intake	Turbocharged w/ waste gate and external cooled EGR
Exhaust aftertreatment	Selective Catalytic Reduction (SCR)
Cooling	Liquid
Engine speeds	RPM
High idle – no load	2500 +/- 25
Rated – full load	2500
Low idle	1150 +/- 25
Horsepower @ 2500 RPM – SAE J1349:	
Gross	90 hp (67 kW)
Net	84 hp (63 kW)
Peak torque @ 1400 RPM	282 lb-ft (383 N-m)
Radiator:	
Core type	Aluminum bar and plate
Core size area	319 in <sup>2</sup> (0.206 m <sup>2</sup> )
Rows of tubes x columns	21
Cap pressure	16 +/- 2 psi (1.10 +/- 0.14 bar)
Fan:	
Diameter	22 in (560 mm)
Ratio	0.96:1 standard, 1.1:1 high-flow
Water pump:	
Style	Centrifugal
Flow	47.8 gpm (181 L/min)
Engine lubrication pump:	
Rotor pump w/ deep sump pan, plate cooler and pressurized under-piston nozzles	
Pump operating angle ratings:	
Side to side	45°
Bucket up	35°
Bucket Down	45°

## LIFT GEOMETRY

Radial Lift

## DRIVETRAIN

Drive pump controls	Servo-assist mechanical
Pump to engine ratio	1:1
Displacement	2.81 in <sup>3</sup> (46 cm <sup>3</sup> )
Flow @ rated engine RPM:	
@ 97% efficiency	29.4 gpm (111 L/min)
Charge pressure	360 psi (24.5 bar)
System relief pressure	5,220 psi (360 bar)

Drive pump controls	Electro-hydraulic
Pump to engine ratio	1:1
Displacement	2.75 in <sup>3</sup> (45 cm <sup>3</sup> )
Flow @ rated engine RPM:	
@ 97% efficiency	28.8 gpm (109 L/min)
Charge pressure	362 psi (25.0 bar)
System relief pressure	5,220 psi (360 bar)

Drive motors:	
Max. displacement	3.10 in <sup>3</sup> (50.9 cm <sup>3</sup> )
Displacement:	
High speed	2.02 in <sup>3</sup> (33.1 cm <sup>3</sup> )
Motor RPM @ high idle and 97% efficiency:	
2-speed	156
Motor torque @ max. displacement and relief pressure, calculated @ 5,220 psi (360 bar):	4,654 lb-ft (6 310 N-m)

Travel speed:	
Low range	5.1 mph (8.2 kph)
High range	8.0 mph (12.9 kph)

Final drive:	
Planetary gearbox w/ 2-speed motor	
Tractive effort	7,414 lb (3 370 kg)
Parking brake:	
Type	Spring-applied, hydraulic release multiple disc.
Engagement	Depress on/off brake button on handle or instrument panel, raise seat bar, get off seat or stop engine.

## ELECTRICAL

Alternator	160 amp
Starter	4.29 hp (3.2 kW)
Battery	12-volt low-maintenance 1,000 cold-cranking amps @ 0° F (-18° C°)

## OPERATOR ENVIRONMENT

ROPS/FOPS Level 1 canopy w/ side screens; Keyed start ignition; AM/FM radio w/ 2 speakers/Bluetooth; Keyless start ignition; Tilt ROPS/FOPS; Rear window w/ emergency escape; Suspension Seat, vinyl w/ 2 in (51 mm) retractable 3 point lap seat belt; Hand and Foot throttle; Alarm package – back-up and horn; Rearview mirror; Headliner; Dome Light; Top window; Cup holder; 12V Power plug socket; Foot rest; Seat Pocket; Padded seat bar w/ integral armrests; Loader control lockout system; Electric parking brake control; Operator's

compartment floor cleanout; Proportional auxiliary hydraulic control – on joystick; Advanced Instrument Cluster w/ digital hour meter, tachometer, Fuel level LCD bar graph w/ alarm, diagnostic features and security lockout.

Warning lights with alarms:  
Engine coolant temperature; Engine oil pressure; Engine malfunction; Hydraulic charge pressure; Hydraulic filter restriction; Hydraulic oil temperature: Critical system stop, Engine system, Hydraulic system, Electrical and diagnostic system.

Warning alarms:  
Battery voltage – plus display; Oil service.

Indicator light:  
Engine preheat; Parking brake;  
Seat bar reminder.

## OPERATING WEIGHT

Unit equipped w/ open cab; 165 lb operator; 78 in Dirt & Foundry bucket; full of fuel:  
10,000 lb (4 536 kg)

Shipping weight 9,656 lb (4 380 kg)

Add-on weights:	
Side cab glass	47 lb (21.3 kg)
Polycarbonate cab door	75 lb (34.0 kg)
Glass cab door w/ wiper	75 lb (34.0 kg)
Suspension seat	22 lb (10.0 kg)
Additional counterweight	600 lb (273.0 kg)

## HYDRAULICS

Implement pump type	Gear
Displacement:	
Standard aux.	2.23 in <sup>3</sup> (36.6 cm <sup>3</sup> )
High-flow aux.	1.24 in <sup>3</sup> (20.4 cm <sup>3</sup> )
Standard flow @ rated engine RPM:	
@ 100% efficiency	24.2 gpm (91.5 L/min)
Optional high-flow @ rated engine RPM:	
@ 100% efficiency	37.6 gpm (142.5 L/min)
Enhanced high-flow @ rated engine RPM:	
@ 100% efficiency	35.0 gpm (132.5 L/min)

Loader control valve:	
Type	3 spool/open center/series - series
Relief pressure	3,046 psi (210 bar)

Port relief pressures:	
Loader raise	3,263 psi (225 bar)
Bucket curl	3,770 psi (260 bar)
Bucket dump	1,160 psi (80 bar)

Hydraulic lines:	
Tubing	37° JIC Flare
Loop hoses	SAE 100 R19

Hydraulic oil cooler:	
Number of fins	10 per inch (3.94 per cm)
Number of tube rows x columns	9 bar/plate
Area	130.7 in <sup>2</sup> (843.2 cm <sup>2</sup> )

Hydraulic filter	Beta (4) = 75/spin-on
------------------	-----------------------

## HYDRAULICS CONT.

Lift cylinders:	
Bore diameter	2.75 in (69.85 mm)
Rod diameter	1.75 in (44.5 mm)
Stroke	32.20 in (817.9 mm)
Closed length	45.60 in (1 158.0 mm)
Bucket cylinders:	
Bore diameter	3.0 in (76.2 mm)
Rod diameter	1.5 in (38.1 mm)
Stroke	16.4 in (410.0 mm)
Closed length	24.0 in (610.0 mm)

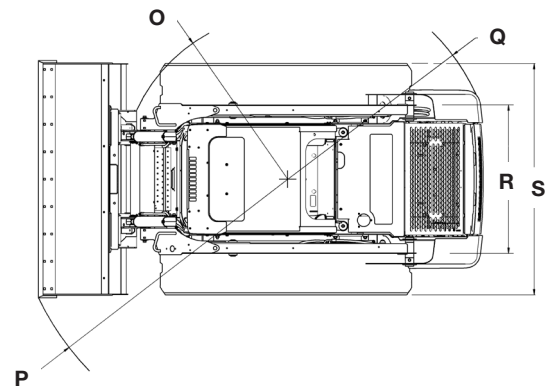
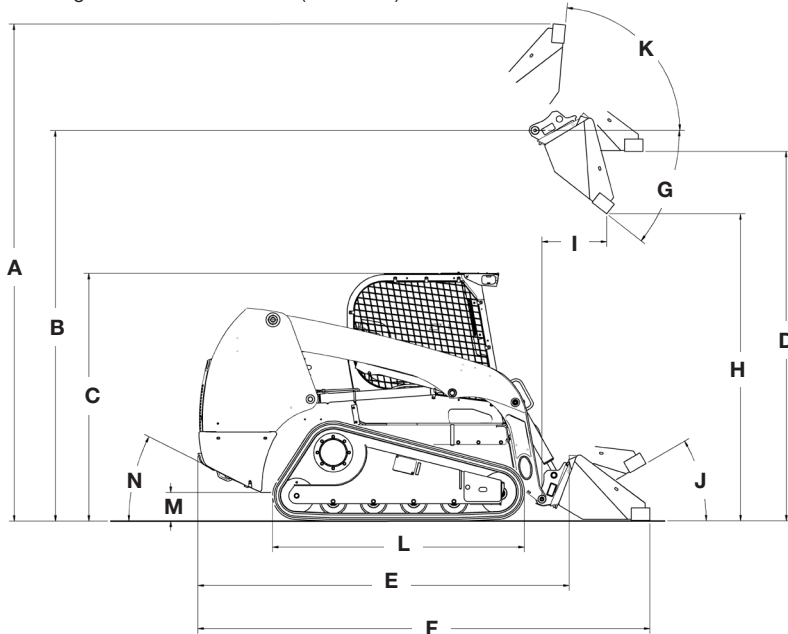
## SERVICE CAPACITIES

Fuel Tank	25.5 gal (96.5 L)
Engine oil w/ filter	8.9 qt (8.5 L)
Hydraulic system:	
Reservoir	6.0 gal (22.7 L)
Total	11.9 gal (45.4 L)
Diesel Exhaust Fluid (DEF) Tank	2.8 gal (10.7 L)

## PERFORMANCE SPECS

Rated operating capacity – ROC*:	
35% of tipping load	2,380 lb (1 079 kg)
50% of tipping load	3,400 lb (1 542 kg)
w/ additional counterweight	3,600 lb (1 633 kg)
Tipping load*	6,800 lb (3 084 kg)
Breakout forces @ 3,150 psi (217 bar)*:	
Bucket cylinders	8,700 lb (38.7 kN)
Lift cylinders – hydraulic limit	7,760 lb (34.5 kN)
Cycle times:	
Raise	4.4 sec
Lower	2.6 sec
Dump	2.6 sec
Roll back	2.0 sec

NOTE: \*Measured using 78 in (1.98 m) foundry/ excavating bucket.



Line drawings are for illustrative purpose only and may not be exact representation of unit.

## DIMENSIONS

<b>A.</b> Overall operating height:	
with foundry/excavating bucket	157.2 in (3.99 m)
with heavy-duty dirt bucket	161.4 in (4.10 m)
with low profile extended bucket	166.2 in (4.22 m)
Height to:	
<b>B.</b> Bucket hinge pin	126.7 in (3.22 m)
<b>C.</b> Top of ROPS	80.4 in (2.04 m)
<b>D.</b> Bottom of level bucket, fully raised	118.7 in (3.02 m)
Overall length:	
<b>E.</b> without attachment with coupler	118.2 in (3.00 m)
<b>F.</b> with foundry/excavating bucket on ground	142.6 in (3.62 m)
with heavy-duty bucket	146.8 in (3.73 m)
with low profile extended bucket	151.7 in (3.85 m)
<b>G.</b> Maximum dump angle	38.1°
<b>H.</b> Dump height:	
with foundry/excavating bucket	102.2 in (2.59 m) @ 38.1°
with low profile bucket	99.5 in (2.53 m) @ 38.1°
<b>I.</b> Dump reach at maximum height with heavy-duty bucket	24.7 in (0.63 m) @ 38.1°
Maximum attachment rollback:	
<b>J.</b> Bucket on ground	30.6°
<b>K.</b> Bucket at full height	100.0°
<b>L.</b> Track on ground	64.5 in (1.64 m)
<b>M.</b> Ground clearance – bottom of belly pan	9.5 in (0.24 m)
<b>N.</b> Angle of departure	32.0°
Clearance circle:	
<b>O.</b> without bucket	55.8 in (1.42 m)
<b>P.</b> with 78 in (1.98 m) foundry/excavating bucket in carry position	86.2 in (2.19 m)
with 78 in (1.98 m) heavy-duty bucket on ground	90.0 in (2.29 m)
with 78 in (1.98 m) extended low profile on ground	94.4 in (2.40 m)
<b>Q.</b> Clearance circle rear	68.6 in (1.74 m)
<b>R.</b> Track gauge	58.6 in (1.49 m)
<b>S.</b> Over the track width	76.5 in (1.94 m)

## TRACK SELECTION

Type	Area	Ground Pressure	Width to Outside Track
17.7 in (450 mm)	2,286 in <sup>2</sup> (1.475 m <sup>2</sup> )	4.4 psi (30.3 kPa)	76 in (1.93 m)

## OPTIONAL BUCKETS

Type	Width	Weight	Heaped Capacity
Dirt & Foundry	72 in (1.83 m)	420 lb (190 kg)	16.2 ft <sup>3</sup> (0.46 m <sup>3</sup> )
	78 in (1.98 m)	440 lb (200 kg)	17.7 ft <sup>3</sup> (0.50 m <sup>3</sup> )
Low Profile	72 in (1.83 m)	480 lb (218 kg)	14.8 ft <sup>3</sup> (0.42 m <sup>3</sup> )
Low Profile Extended	72 in (1.83 m)	510 lb (232 kg)	17.7 ft <sup>3</sup> (0.50 m <sup>3</sup> )
	78 in (1.98 m)	540 lb (245 kg)	19.1 ft <sup>3</sup> (0.54 m <sup>3</sup> )
	84 in (2.13 m)	575 lb (262 kg)	20.5 ft <sup>3</sup> (0.58 m <sup>3</sup> )
Light Material	72 in (1.83 m)	475 lb (216 kg)	23.3 ft <sup>3</sup> (0.66 m <sup>3</sup> )
	84 in (2.13 m)	540 lb (245 kg)	27.5 ft <sup>3</sup> (0.78 m <sup>3</sup> )
Manure & Slurry	72 in (1.83 m)	480 lb (218 kg)	19.1 ft <sup>3</sup> (0.54 m <sup>3</sup> )
Heavy-Duty	72 in (1.83 m)	510 lb (230 kg)	14.1 ft <sup>3</sup> (0.40 m <sup>3</sup> )
	78 in (1.98 m)	530 lb (240 kg)	15.5 ft <sup>3</sup> (0.44 m <sup>3</sup> )
	84 in (2.13 m)	550 lb (250 kg)	17.0 ft <sup>3</sup> (0.48 m <sup>3</sup> )
Heavy-Duty Extended with SmartFit Teeth	72 in (1.83 m)	667 lb (303 kg)	17.4 ft <sup>3</sup> (0.49 m <sup>3</sup> )
	78 in (1.98 m)	697 lb (316 kg)	18.9 ft <sup>3</sup> (0.54 m <sup>3</sup> )
	84 in (2.13 m)	728 lb (330 kg)	20.5 ft <sup>3</sup> (0.58 m <sup>3</sup> )

## STANDARD EQUIPMENT

### OPERATOR ENVIRONMENT

See page 1

### ENGINE

FPT F5B FL413 D\*C001  
 207 CID (3.4 L) Turbo  
 Tier 4 Final Certified  
 Selective Catalytic Reduction (SCR)  
 Charged Air Cooler (CAC)  
 High Pressure Common Rail (HPCR)  
 fuel injection  
 Horsepower:  
 Gross: 90 hp (67 kW)  
 Net: 84 hp (63 kW)  
 Peak torque: 282 lb-ft (383 N·m)  
 160 amp alternator  
 Dual element air cleaner  
 Organic Acid Technology (OAT)  
 Anti-freeze solution to -34° F  
 Fuel tank - 25.5 gal (U.S.)  
 Over and under radiator and oil cooler  
 3-stack after cooler/radiator/oil  
 cooler configuration  
 Glow plugs  
 Integral engine oil cooler  
 Fuel filter with water trap  
 1,000 CCA 12V battery  
 Master electrical disconnect  
 Jump Start Terminal

### DRIVETRAIN

2-speed hydrostatic four wheel drive  
 SAHR disc parking brake

### HYDRAULICS

Auxiliary hydraulics:  
 @ 3,050 psi (210 bar) – 24.2 gpm  
 (91.5 L/min)  
 6 micron oil filtration system  
 3-spool loader control valve  
 Auxiliary hydraulic disconnects, ISO  
 flat-face – connect-under-pressure  
 with case drain  
 Hydraulic circuit pedal lock  
 Auxiliary function lockout override  
 Loader lift lockout override  
 Heavy-duty hydraulic oil cooler  
 Loader arm float position  
 Loader function lockout system

### LOADER

Heavy Duty Hydraulic attachment coupler  
 Radial lift geometry  
 Loader lift arm support strut  
 SAE operating load: 3,400 lbs  
 Tipping load: 6,800 lbs

### TRACKS

Rubber Tracks

### OTHER STANDARD FEATURES

Halogen lights - 2 front, 2 side, 2 rear flood  
 Pre-wired for rotating beacon  
 Lockable service access hood  
 Single-point daily servicing  
 Rear tail lights  
 Remote oil drain  
 Remote oil and fuel filters  
 Block heater  
 Debris ingress sealing  
 Mounting points for add-on counterweights

## OPTIONAL EQUIPMENT

### OPERATOR ENVIRONMENT

Enclosed cab:  
Fully sealed and pressurized – FSP  
Glass door with wiper and washer  
Sliding side windows – removable  
Ventilation system with integrated heater  
Heater and air conditioner  
AM/FM Bluetooth radio with 2 speakers and USB port  
Keyless start ignition  
8 in Color LCD Display  
Economy Mode (auto idle shutdown)  
Auto Engine Protection Shutdown  
Electro-hydraulic controls:  
For drive/steering, loader functions  
Switchable between H and ISO patterns  
Adjustable sensitivity of controls  
Mechanical hand controls  
Hand and foot controls:  
Hand controls the loader drive function and foot controls the bucket and boom  
Deluxe cloth air suspension seat w/ heater and lumbar support  
Open cab interior trim package  
Demolition cab door with polycarbonate  
FOPS Level 2  
Ignition Timeout  
Machine Settings User Access Levels  
Operator Security Codes

### HYDRAULICS

High-flow auxiliary hydraulics – combined:  
@ 3,050 psi (210 bar) – 37.6 gpm  
(142.5 L/min)  
Enhanced High-flow auxiliary hydraulics – EHF:  
@ 4,000 psi (276 bar) – 35.0 gpm  
(132.5 L/min)  
Second auxiliary hydraulics  
Hydraulic one-way self-leveling  
Ride control

### LOADER

Auxiliary front electric control  
Manual attachment coupler

### DRIVETRAIN

Creep Speed Mode

### OTHER

Language decals  
Factory-installed tires – see page 3  
Buckets – see page 3  
Bolt-on bucket cutting edges  
Bolt-on heavy-duty bucket spill guard  
Special paint  
Offsite service arrangement  
Telematics

### FACTORY SUPPLIED ATTACHMENTS

Add-on counterweights  
Road lights  
Rotating beacon  
Four-corner LED strobe  
48 in (1.22 m) pallet forks

### SERVICE PARTS

3 inch (76.2 mm) retractable seat belt  
Bolt-on heavy-duty bucket teeth

## CaseCE.com

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IMPORTANT: CASE Construction Equipment Inc. reserves the right to change these specifications without notice and without incurring any obligation relating to such change. Availability of some models and equipment builds vary according to the country in which the equipment is used. The illustrations and text may include optional equipment and accessories and may not include all standard equipment. Your CASE dealer/distributor will be able to give you details of the products and their specifications available in your area.



CASE Construction Equipment is biodiesel-friendly. NOTE: All engines meet current EPA emissions regulations. All specifications are stated in accordance with SAE Standards or Recommended Practices, where applicable.



Always read the Operator's Manual before operating any equipment. Inspect equipment before using it, and be sure it is operating properly. Follow the product safety signs and use any safety features provided.

Form No. CCE202002TR340B  
Replaces Form No. CCE201911TR340B

TR340B

4 of 4



## Sourcewell (NJPA) - Construction Equipment Contract

Contract Number: 32119 - CNH

Contract Period: 7-8-19 -thru 5-13-23

Revised: 1/13/2020

**Eligible Customers: All Sourcewell members in United States**

Members Include: Government  
 Education (K-12 and higher)  
 Non-profit agencies  
 States that have adopted the contract (see below)

**States that have Adopted Sourcewell as their term contract:**

	<b>Member #</b>
Mississippi	5401
New York PC6265	4652
Delaware GSS15750-Equip_HD	38542

Member list: [https://sourcewell-mn.gov/contact/member\\_resources](https://sourcewell-mn.gov/contact/member_resources)

Need to Join? <https://sourcewell-mn.gov/>

<b>CONTRACT DETAILS</b>	
Contract Pricing	Specified discount off List Price/MSRP plus freight and setup and local delivery. Also surcharge but this must be placed on a separate line item. These discounts not allowed with wholesale discount.
Multiple Unit Discount	Not applicable.
Third Party Items	Allowed. Third party equipment and/or accessories must be listed on individual line(s) below the contract items.
Trade-In	Allowed. The value is determined by the agency and the local dealer.
Rental or Lease	Contact your local Case CE dealer for lease options.
Payment	Contact your local Case CE dealer for payment options.



See [www.casece.com](http://www.casece.com) for product information

SOURCEWELL PRICE LIST DISCOUNTS--Contract 032119 Valid until 05/19/2023

Revised 01/13/2020

FOR USA MARKET ONLY

PRODUCT / MODEL	PRICE LIST	USA SOURCEWELL MEMBER DISCOUNT OFF LIST PRICE
<b>TRACTOR LOADER</b>		
570N EP T4 FINAL	PL-200 TLL SAP REVISION 21 EFF. JANUARY 1, 2020	28%
<b>TRACTOR LOADER BACKHOE</b>		
580N 2WD	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
580N 4WD	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
580SN 2WD	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
580SN 4WD	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
580N EP 2 WD	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
580N EP 4 WD	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
580SN WT	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
590SN 4WD	PL-200 TLB SAP REVISION 22 EFF. JANUARY 1, 2020	37%
<b>FORKLIFT</b>		
586H 2WD T4 FINAL	PL-200 RTFL SAP REVISION 22 EFF. JANUARY 1, 2020	30%
586H 4WD T4 FINAL	PL-200 RTFL SAP REVISION 22 EFF. JANUARY 1, 2020	30%
588H 2WD T4 FINAL	PL-200 RTFL SAP REVISION 22 EFF. JANUARY 1, 2020	30%
588H 4WD T4 FINAL	PL-200 RTFL SAP REVISION 22 EFF. JANUARY 1, 2020	30%
<b>CRAWLER DOZER</b>		
650M	PL-200 UT SAP REVISION 7 EFF. JANUARY 1, 2020	26%
750M	PL-200 CE SAP REVISION 22 EFF. JANUARY 1, 2020	37%
850M	PL-200 CE SAP REVISION 22 EFF. JANUARY 1, 2020	37%
1150M	PL-200 CE SAP REVISION 22 EFF. JANUARY 1, 2020	31%
1650M	PL-200 CE SAP REVISION 22 EFF. JANUARY 1, 2020	37%
2050M	PL-200 CE SAP REVISION 22 EFF. JANUARY 1, 2020	31%
<b>COMPACT WHEEL LOADER</b>		
21F T4 FINAL	PL-200 CW SAP REVISION 23 EFF. JANUARY 1, 2020	26%
121F T4 FINAL	PL-200 CW SAP REVISION 23 EFF. JANUARY 1, 2020	31%
221F T4 FINAL	PL-200 CW SAP REVISION 23 EFF. JANUARY 1, 2020	31%
321F T4 FINAL	PL-200 CW SAP REVISION 23 EFF. JANUARY 1, 2020	31%
<b>WHEEL LOADER</b>		
521G T4 FINAL	PL-200 CE SAP REVISION 30 EFF. JANUARY 1, 2020	37%
621G T4 FINAL	PL-200 CE SAP REVISION 30 EFF. JANUARY 1, 2020	37%
721G T4 FINAL	PL-200 CE SAP REVISION 30 EFF. JANUARY 1, 2020	37%
821G T4 FINAL	PL-200 CE SAP REVISION 30 EFF. JANUARY 1, 2020	38%
921G T4 FINAL	PL-200 CE SAP REVISION 30 EFF. JANUARY 1, 2020	38%
1021G T4 FINAL	PL-200 CE SAP REVISION 30 EFF. JANUARY 1, 2020	30%
1121G T4 FINAL	PL-200 CE SAP REVISION 30 EFF. JANUARY 1, 2020	30%

Freight FOB North America plant or import distribution location.2% Steel surcharge to be added as separate line items on quote.



See [www.casece.com](http://www.casece.com) for product information

**SOURCEWELL PRICE LIST DISCOUNTS--Contract 032119 Valid until 05/19/2023**

Revised 01/13/2020

**FOR USA MARKET ONLY**

PRODUCT / MODEL	PRICE LIST	USA SOURCEWELL MEMBER DISCOUNT OFF LIST PRICE
<b>COMPACT TRACK LOADER</b>		
TR270 T4 FINAL	PL-200 SL SAP REVISION 36 EFF. JANUARY 1, 2020	33%
TR310 T4 FINAL	PL-200 SL SAP REVISION 36 EFF. JANUARY 1, 2020	26%
TR340 T4 FINAL	PL-200 SL SAP REVISION 36 EFF. JANUARY 1, 2020	26%
TV370 T4 FINAL	PL-200 SL SAP REVISION 36 EFF. JANUARY 1, 2020	26%
TV450 T4 FINAL	PL-200 SL SAP REVISION 36 EFF. JANUARY 1, 2020	26%
<b>COMPACT EXCAVATOR</b>		
CX17C	PL-200 MX SAP REVISION 8 EFF. JANUARY 1, 2020	25%
CX26C	PL-200 MX SAP REVISION 8 EFF. JANUARY 1, 2020	25%
CX30C	PL-200 MX SAP REVISION 8 EFF. JANUARY 1, 2020	25%
CX37C	PL-200 MX SAP REVISION 8 EFF. JANUARY 1, 2020	25%
CX57C	PL-200 MX SAP REVISION 8 EFF. JANUARY 1, 2020	25%
CX60C	PL-200 MX SAP REVISION 8 EFF. JANUARY 1, 2020	25%
<b>EXCAVATOR</b>		
CX75C	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX80C	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX130D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX145D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX160D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX210D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX245D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX250D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX290D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX300D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX350D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX490D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX500D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
CX750D	PL-200 CX SAP REVISION 32 EFF. JANUARY 1, 2020	26%
<b>SKID STEER LOADER</b>		
SR160 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	24%
SR175 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	26%
SV185 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	26%
SR210 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	26%
SR240 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	26%
SR270 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	26%
SV280 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	27%
SV340 T4 FINAL	PL-200 SL SAP REVISION 34 EFF. JANUARY 1, 2020	33%

Freight FOB North America plant or import distribution location.2% Steel surcharge to be added as separate line items on quote.





See [www.casece.com](http://www.casece.com) for product information

**SOURCEWELL PRICE LIST DISCOUNTS--Contract 032119 Valid until 05/19/2023**

Revised 01/13/2020

**FOR USA MARKET ONLY**

PRODUCT / MODEL	PRICE LIST	USA SOURCEWELL MEMBER DISCOUNT OFF LIST PRICE
<b>MOTOR GRADER</b>		
836C 4WD / AWD	PL-200 GR SAP REVISION 3 EFF. JANUARY 1, 2020	31%
856C 4WD / AWD	PL-200 GR SAP REVISION 3 EFF. JANUARY 1, 2020	31%
865B / AWD	PL-200 GR SAP REVISION 16a EFF JANUARY 1, 2020	31%
885B / AWD	PL-200 GR SAP REVISION 16a EFF JANUARY 1, 2020	31%
<b>COMPACTION</b>		
DV23E	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
DV26E	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
DV36E	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
DV45E	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
DV209D	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
DV210D	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
SV208D	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
SV212D	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
SV216D	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
PT240D	PL-200 CM SAP REVISION 32 EFF. NOVEMBER 26, 2019	25%
CNH Parts	Current	LIST PRICE

Freight FOB North America plant or import distribution location

Cannot be combined with any other retail/whole goods program discounts

Discounts valid for this contract only.

CASE CE dealer can add delivery freight and PDI costs.

2% Steel surcharge to be added as separate line items on quote

**VILLAGE OF GILBERTS**

**RESOLUTION 13-2021**

**A RESOLUTION AUTHORIZING APPROVAL OF AN AGREEMENT WITH MCANN INDUSTRIES FOR THE PURCHASE OF A CASE COMPACT TRAC LOADER IN AN AMOUNT NOT TO EXCEED \$75,970**

**WHEREAS**, the Village of Gilberts (“Village”) has a Public Works Department, which maintains Village streets and other Village infrastructure; and

**WHEREAS**, the Village maintains various pieces of equipment in support of the general operations of the department including a wheeled skid steer; and

**WHEREAS**, the current wheeled skid steer is over 20 years old and has begun to suffer multiple mechanical failures; and

**WHEREAS**, adequate funds were included in the FY2022 Budget for the purchase of a new track loader to replace the wheeled skid steer; and

**WHEREAS**, Public Works obtained pricing through the Sourcewell joint-purchasing cooperative (contract #032119) which was matched and exceeded by a CASE-certified vendor.

**THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF GILBERTS, ILLINOIS**, as follows:

**Section 1. Recitals.** The recitals set forth above are hereby incorporated into and made a part of this Resolution as though set forth in this Section 1.

**Section 2. Approval; Authorization.** The Village Board of Trustees hereby authorizes the Village Administrator to execute an agreement and other necessary documents with McCann Industries for the purchase of CASE Compact Track Loader (TR340B) in an amount not-to-exceed \$75,970.

**Section 3. Waiver of Competitive Bidding.** To the extent any competitive bidding requirements apply to the purchase agreement with McCann Industries that were not satisfied during the joint purchasing process through Sourcewell Contract #032199, any such competitive bidding requirements are hereby waived pursuant to Section 8-9-1 of the Illinois Municipal Code (65 ILCS 5/8-9-1).

**Section 4. Effective Date.** This Resolution shall be in full force and effect after its approval in the manner provided by law.

**PASSED BY VOTE OF THE BOARD OF TRUSTEES** of the Village of Gilberts, Kane County, Illinois, this \_\_\_\_ day of \_\_\_\_\_ 2021.

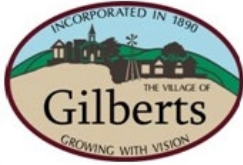
	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Dan Corbett	_____	_____	_____	_____
Trustee David LeClercq Sr.	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Guy Zambetti, Village President

(SEAL)

ATTEST: \_\_\_\_\_  
Courtney Baker, Village Clerk



## Village of Gilberts

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

**To:** President Zambetti & Board of Trustees  
**From:** Brian Bourdeau, Village Administrator  
Aaron Grosskopf, Public Works Director  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 5.F: Resolution Authorizing the Purchase of a Hustler 104" Mower

---

Public Works is looking to add a new mower to bring new life to the aging fleet of mowers owned by the Village. The new Hustler 104" Mower will be the cornerstone of the Village's mowing procedures. The 104" cutting deck is one of the most considerable finishing cutting decks on the market, which will add productivity and efficiency to our current mowing operations.

The Village maintains a total area of 55 acres throughout the spring, summer, and fall seasons. With an anticipated increase of near 26 acres of public parkland with the addition of the conservancy coming over the next few years, Public Works will need to increase capacity to perform mowing operations efficiently.



The price of \$27,729.00 not only includes the mower but the additional parts that will allow it to perform optimally for an extended period. It is in the Village's best interest to invest in these items upfront to increase the life of the mower and all of its features. Below you will find a list of all add-ons needed for the mower to perform at a high level for the Village:

- *Flex Forks (Main Frame & Wing Frame):* Shock-absorbing front caster forks improve operator comfort and provide a more even cut, especially over uneven terrain and at higher speeds.
- *Premium Anti-Scalp Kit:* There are seven heavy-duty replacement anti-scalp rollers with ball bearings for use when frequent ground contact is necessary.
- *Wing Support Kit:* Increase the wings of the mower, which gives it such an extensive cutting range. The support kit will ensure the wings stay stable and strong through mowing operations.

This item is priced through the Sourcewell Purchasing Program. The Hustler 104" Mower is available for purchase at 25% below MSRP through Sourcewell Contract# 062117-HTE. Purchasing through this process allows the Village to purchase through a previously competitive bid contract. The approved budgeted amount for this purchase is \$28,000.00.

Village Staff requests the approval from the Village Board of Trustees to expend budgeted funds from account 01-03-5480 (Capital Equipment) in a not-to-exceed amount of \$28,000.00, for the purchase of a Hustler 104" Mower.

## Hustler #062117-HTE

Pricing for contract #062117-HTE offers Sourcewell participating agencies the following discounts:

- Light duty residential mowers – 10% off MSRP
- Other mowers up to 89" – 27% off MSRP
- Accessories for mowers – 22% off MSRP
- Super 104 – 25% off MSRP
- Hustler MDV – 12% off MSRP plus a \$500 shipping fee

Discover your local dealer difference.



May 12, 2021

Mr. Aaron Grosskopf  
Village of Gilberts  
73 Industrial Drive  
Gilberts, Illinois 60136

Dear Mr. Grosskopf:

The following is the sales proposal you requested:

1	Hustler mower model 939470 Super 104 Vanguard Big Block EFI engine with oil guard 37hp 104" rear discharge tri deck Hyper drive hydro system	\$24,486.00*
1	flex forks main frame kit	478.00
1	flex forks wing kit	456.00
1	wing support kit	478.00
1	premium anti scalp kit	1,431.00
	Freight, prep and delivery	400.00
	Total	\$27,729.00

As of today all is available and could be delivered to you in a timely manner.

Thank you for contacting B&K for your mowing equipment.

Sincerely,

A handwritten signature in black ink, appearing to read 'Barbara L. Christ', is written over the typed name.

Barbara L. Christ

\*Sourcewell pricing

Construction ■ Farm ■ Lawn ■ Sales ■ Service

17009 Harmony Road, Marengo IL 60152 ■ 815-923-4547 ■ Fax 815-923-2043

Email: [blc7@msn.com](mailto:blc7@msn.com) ■ [www.bandkpower.com](http://www.bandkpower.com)

**VILLAGE OF GILBERTS**

**RESOLUTION 14-2021**

**A RESOLUTION AUTHORIZING APPROVAL OF AN AGREEMENT WITH B&K POWER EQUIPMENT, INC. FOR THE PURCHASE OF A HUSTLER 104” MOWER IN AN AMOUNT NOT TO EXCEED \$28,000**

**WHEREAS**, the Village of Gilberts (“Village”) has a Public Works Department, which maintains Village streets and other Village infrastructure, including parks; and

**WHEREAS**, the Village mows and maintains a total of 55 acres through the spring, summer and fall seasons; and

**WHEREAS**, adequate funds were included in the FY2022 Budget for the purchase of an additional mower for the Public Works fleet; and

**WHEREAS**, Public Works obtained pricing through the Sourcewell joint-purchasing cooperative (contract #062117-HTE) for the purchase of a Hustler 104” mower.

**THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF GILBERTS, ILLINOIS**, as follows:

**Section 1. Recitals.** The recitals set forth above are hereby incorporated into and made a part of this Resolution as though set forth in this Section 1.

**Section 2. Approval; Authorization.** The Village Board of Trustees hereby authorizes the Village Administrator to execute an agreement and other necessary documents with B&K Power Equipment, Inc. for the purchase of a Hustler 104” mower in an amount not-to-exceed \$28,000.

**Section 3. Waiver of Competitive Bidding.** To the extent any competitive bidding requirements apply to the purchase of the Hustler 104’ mower that were not satisfied during the joint purchasing process through Sourcewell Contract #062117-HTE, any such competitive bidding requirements are hereby waived pursuant to Section 8-9-1 of the Illinois Municipal Code (65 ILCS 5/8-9-1).

**Section 4. Effective Date.** This Resolution shall be in full force and effect after its approval in the manner provided by law.

**PASSED BY VOTE OF THE BOARD OF TRUSTEES** of the Village of Gilberts, Kane County, Illinois, this \_\_\_\_ day of \_\_\_\_\_ 2021.

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Dan Corbett	_____	_____	_____	_____
Trustee David LeClercq Sr.	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

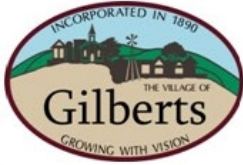
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Guy Zambetti, Village President

(SEAL)

ATTEST: \_\_\_\_\_  
Courtney Baker, Village Clerk





## *Village of Gilberts*

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

**To:** Village President Zambetti and Board of Trustees  
**From:** Riley Lynch, Administrative Intern  
**Cc:** Brian Bourdeau, Village Administrator  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 6.A: Approval of a Rear Yard Setback Variance at 251 Valencia Parkway

---

### **Background:**

Mr. Paul Middleton (“Applicant”) has requested a variance from the rear yard setback requirement for purposes of constructing an in-ground pool. The property, located at 251 Valencia Parkway (PIN 02-13- 481-001), is located in the R-3 Residential zoning district, within a Planned Unit Development (PUD).

Within the R-3 Residential zoning district, the minimum rear yard setback is 40 feet for residential served by septic and 30 feet for residential served by sewer (UDO 10-3-6). The Applicant’s residence is serviced with a sewer requiring a minimum 30-foot rear yard setback.

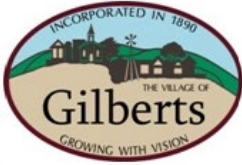
As noted above, the Applicant wishes to construct an inground pool on their property. However, they are constrained by the rear yard setback. A variance to this setback will allow the applicant to pursue construction of the pool within their backyard.

### **Plan Commission Recommendation:**

The Plan Commission considered the Applicant’s request at a public hearing on May 12<sup>th</sup>. During the public hearing, multiple residents spoke in support of the Applicant’s request for the variance. After the public hearing concluded and following deliberation from the Commission, the Plan Commission unanimously recommended that the Board approve this rear setback variance as requested.

### **Attachments:**

- 1) Staff memo and Supporting Documentation from the May 12, 2021 Plan Commission Meeting



## Village of Gilberts

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

**To:** Plan Commissioners  
**From:** Brian Bourdeau, Village Administrator  
**Date:** May 12, 2021 Plan Commission Meeting  
**Re:** Item 6: Request for a Rear Yard Setback Variance at 251 Valencia Parkway

---

### Background

Mr. Paul Middleton (“*Applicant*”) has requested a variance from the rear yard setback requirement for purposes of constructing an in-ground pool. The property, located at 251 Valencia Parkway (PIN 02-13-481-001), is located in the R-3 Residential zoning district, within a Planned Unit Development (PUD). The property is bounded by other single-family homes on all sides which are located in the same zoning district and within the same PUD.

Within the R-3 Residential zoning district, the minimum rear yard setback is 40 feet for residential served by septic and 30 feet for residential served by sewer (UDO 10-3-6). The Applicant’s residence is serviced with a sewer requiring a minimum 30-foot rear yard setback.

### Variance Request

The Applicant wishes to construct an approximately 16-foot by 32-foot in-ground pool to be located 10 feet from the rear property line. As noted above, there is a required 30-foot rear yard setback applicable to this property. Furthermore, Section 10-8-1(E)(1b) of the UDO states “*no private swimming pool or any accessory apron, walk or equipment room may protrude into any required rear yard.*” As a result of the proposed pool size and location in the rear yard, the Applicant is seeking a variance to protrude 20 feet into the required rear yard. The available location of the pool is constrained, in part, by existing accessory buildings and/or structures which have been constructed on the lot including an open-air pool house and a covered deck.

### Primary Points for Discussion

In considering the Applicant’s request, the Plan Commission should review the standards for variations as outlined in Section 10-11-10(F) of the UDO:

#### *Standards for Variations.*

1. *General Standard. No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty.*
2. *Supplemental Standards. In considering proposed variations to this code, the Board of Appeals will consider whether the proposed variation will:*
  - a. *Impair an adequate supply of light and air to adjacent property.*
  - b. *Unreasonable increase the congestion in public streets.*

- c. Increase the danger of fire or endanger the public safety.*
  - d. Unreasonably diminish or impair established property values within the surrounding area.*
  - e. In any other respects impair the public health, safety, or welfare of the inhabitants of the village.*
3. *Findings of Fact. Upon review of the application and information presented at the public hearing, the Board of Appeals shall consider and adopt findings of fact sustaining each of the following criteria which are consistent with the rules provided to govern determinations of the Board of Appeals as referenced by state statute.*
- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district.*
  - b. The extraordinary or exceptional conditions of the property requiring the request for the variance were not caused by the applicant.*
  - c. The proposed variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship.*
  - d. The denial of the proposed variance will deprive the applicant the use permitted to be made by the owners of property in the immediate area.*
  - e. The proposed variance will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested.*
  - f. There is no other means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.*

**Attachments**

- A) Variance Application
- B) Plat of Survey – With Location of the Pool
- C) Applicants Response to the Standards for Variation

**VILLAGE OF GILBERTS**

87 Galligan Road

Gilberts, IL. 60136

Telephone: 847-428-2861

Fax: 847-428-2955

APPLICATION FOR A VARIANCE

---

For Office Use Only

Case. No. \_\_\_\_\_

Hearing Date: \_\_\_\_\_

Date Published: \_\_\_\_\_

Newspaper: \_\_\_\_\_



**NOTICE TO APPLICANT:** A variation is a zoning adjustment which permits minor changes in requirements where an individual property is both harshly and uniquely burdened by the strict application of the law. No variation may be granted which would adversely affect surrounding or the general neighborhood.

**....A plat of survey of property and a drawing or plan of proposed change drawn to scale must accompany this request along with the application fee (see fee scheduled attached). Deposits for professional fees are required in an amount to be determined by the Village.**

**Please Print**

Name and address of the owner of the property

Paul Middleton

251 Valencia Parkway

Gilberts Illinois 60136

Applicant's Telephone Number: \_\_\_\_\_

Applicant's Cell Phone Number: 312-656-4302

Applicant's email address: paul@abelplusservices.com

Applicant's Fax Number: 847-908-7586

Address of variance: 251 Valencia Parkway Gilberts Illinois 60136

Legal Description (attached to application)

Zoning District: R-3

Present Use: Residential

**Request**

Owner/Applicant request a change in (please circle one) Yard, Parking, Height, Lot  
If other, please explain:

---

---

---

Requirements of Article 3 Section 6 Page \_\_\_\_\_

The following facts are pertinent to the request change:

The designated rear yard setback is 25'. There is a 10' utility easement off the rear property line and a minimum requirement of building of 10' off of the primary structure.

Conditions and/or hardship which justify changing requirements of Zoning Code (Description in detail).

The distance between the setback, primary structure and utility easement does not allow enough space for a pool. The requested change would allow for construction of a pool consistent with many other pools currently in the immediate neighborhood.

To the best of my knowledge, the preceding facts are accurate and complete.

(Owner must sign this application)

Signature of Owner(s) Pat [Signature]

Date: 4-6-2016

Attest: E Barnes

Applicant: Pat [Signature]

Date: 4-6-2016

Attest: E Barnes

Paul Middleton  
251 Valencia Parkway  
Gilberts, IL 60136

April 29, 2021

Brian Bourdeau  
Village Administrator  
Village of Gilberts  
87 Galligan Road  
Gilberts, IL 60136

Mr. Bourdeau

The variance is being requested to locate a swimming pool in our backyard. No other location on the property will allow for the pool to be installed. A hardship exists because of the particular shape of my corner lot property and the location of the main dwelling. An additional hardship exists because following the 25' rear lot setback will not allow for enough room for the pool installation. I did not cause or create any of these hardships. Furthermore, with the changing times, COVID-19 has created a situation where it is safer for my family to stay home. A pool will allow for greater morale, welfare and recreation. I am a veteran and in the Air Force it was called MWR. We meet all the lot usage requirements to have a Gilberts permittable pool installed in our R3 zoning district.

Our proposed pool will meet all other requirements. The pool will not be located closer than 10' from the main dwelling. The pool and or any equipment will not protrude into any required rear easements. The pool will not impair any amount of light or air to any adjacent properties. The pool will not increase congestion on public roads nor endanger public safety. The pool will not increase the danger of fire. The pool will allow for increased property value for our property and the adjacent properties as well.

Barrington Pools is the selected contractor to perform the potential install, they have 46 years of experience installing pools. The design and engineering of our pool was driven by improving the neighborhood aesthetics, not just my backyard. The pool would allow me to improve the value of my property as well as the surrounding properties. In addition to having a required fence, our pool will have a safety cover that can only be opened with a code. This safety cover will prevent accidental usage and will be environmentally friendly, by saving on heat and pool treatment products. Our pool will be consistent with other properties in the immediate area.

Respectfully



Paul Middleton

251 Valencia Parkway; EB Test; EB - TEST; 7/7/2020 11:13:28 AM

# PERMIT PLAT OF SURVEY

LOT 42 IN GILBERTS TOWN CENTER - UNIT 3, BEING A SUBDIVISION OF A PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 28, 2008, AS DOCUMENT NUMBER 20080322930, AND ACCORDING TO THE CERTIFICATE OF CORRECTION THEREOF RECORDED NOVEMBER 17, 2006, AS DOCUMENT NUMBER 2006125815 IN KANE COUNTY, ILLINOIS

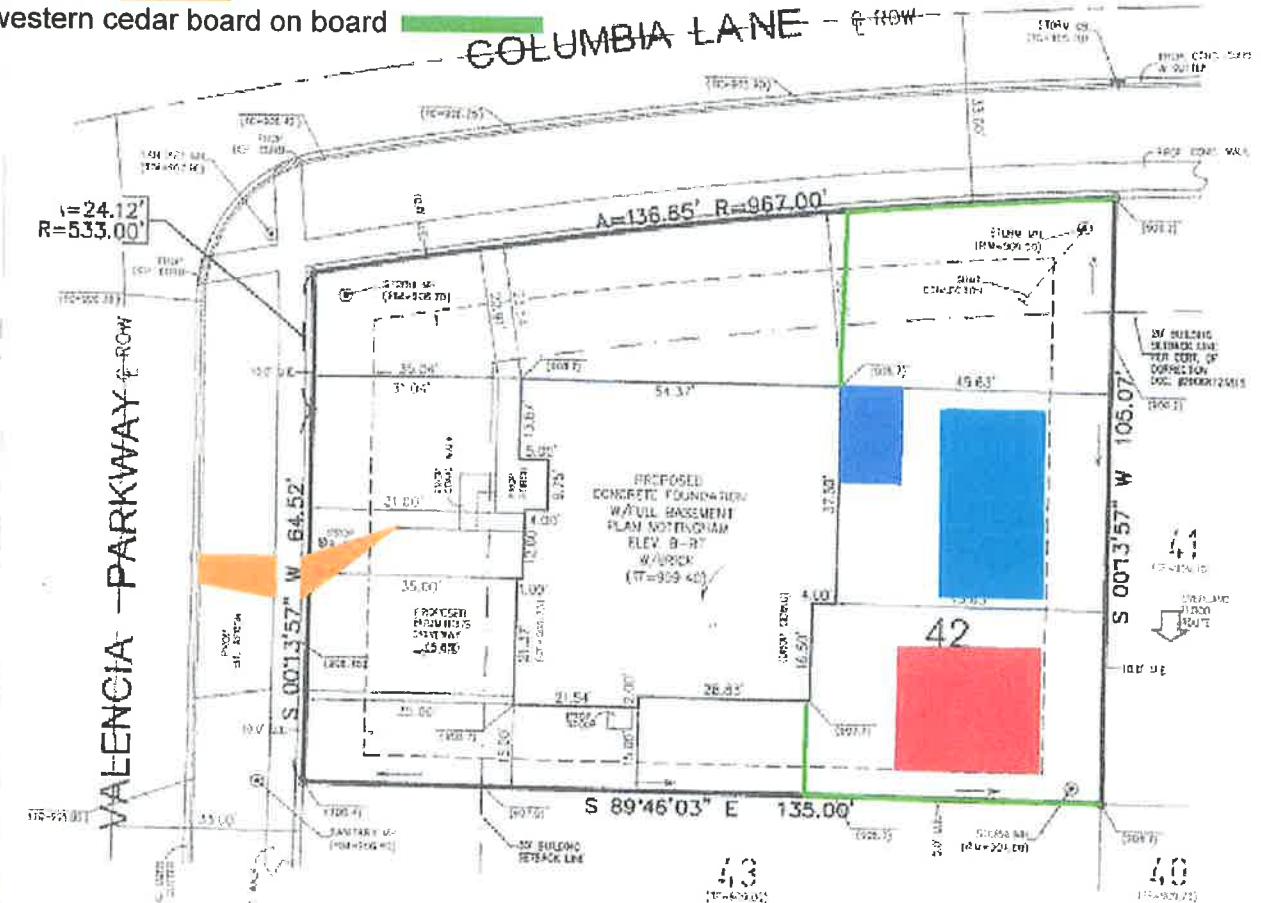


SCALE: 1" = 20'

DATE	BY	REVISION
7/7/20	SA	1
		2
		3
		4
		5

**LEGEND:**

- In-ground Pool
- Covered Deck
- Open Air Covered Pool House
- Driveway Extension
- Fence - 5' western cedar board on board



ALL MEASUREMENTS TAKEN FROM CONCRETE FOUNDATION, FOR BUILDINGS, REVISIONS, AND CASING, NOT SHOWN HEREON, REFER TO YOUR ABSTRACT, DEED, GARNANCE, POLICY, AND LOCAL ORDINANCES

FOR INFORMATION OF THE CLIENT, THE SURVEY WAS CONDUCTED ON 7/7/2020 AT 11:13:28 AM. THE SURVEY WAS CONDUCTED BY STEVEN A. POPP, PLS, AND HIS ASSISTANT, JAMES M. HARRIS, PLS.

- NOTES:**
- COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
  - PROPOSED TOP OF FOUNDATION ELEVATIONS AND GRADING AS SHOWN HEREON OBTAINED FROM FINAL SITE DEVELOPMENT PLANS FOR GILBERTS TOWN CENTER - UNIT 3, PREPARED BY CEMCON, LTD. LOG NO. 508.058 DATED 7/15/05, LAST REVISED 9-18-07.
  - PROPOSED FOUNDATION DIMENSIONS AS SHOWN HEREON OBTAINED FROM PLANS PREPARED BY RYLAND HOMES, RECEIVED 5/3/07.
  - THIS DOCUMENT IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ANY THIRD PARTY USER ASSUMES ALL LIABILITY ASSOCIATED WITH THEIR USE OF THIS DOCUMENT.
  - DRIVEWAY CONSTRUCTION IS TO CONSIST OF 6" SIGNE AND 2" ASPHALT PER PLAN.

REVISED 8/25/08 PER CLIENT: (DIFFERENT ELEVATION)  
REVISED 4/27/09 PER CLIENT: CHANGE BUILDING PLAN



STATE OF ILLINOIS }  
COUNTY OF Du PAGE } 5.5

ALL MIDWEST TECHNICAL CONSULTANTS, INC., PROFESSIONAL DESIGN FIRM - LAND SURVEYING CORPORATION NO. 184-002917, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED FROM EXISTING PLATS AND RECORDS AND THAT SAID PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS SHOWN IN FEET AND DECIMAL PART THEREOF.

GIVEN UNDER MY HAND AND SEAL IN HARBESON, ILLINOIS, THIS 25TH DAY OF JUNE, A.D. 2008

*Signature of Steven A. Popp*

STEVEN A. POPP, PLS #13010  
VICE PRESIDENT  
LICENSURE EXPIRES 11/30/2008

**MIDWEST  
TECHNICAL  
CONSULTANTS, INC.**  
LAND SURVEYORS  
www.mtcinc.com

1100 N. WASHINGTON ST.  
SUITE 200  
CHICAGO, IL 60610  
TEL: 773.335.0000

**VILLAGE OF GILBERTS**

**ORDINANCE NO. 08-2021**

**AN ORDINANCE APPROVING  
A VARIANCE FROM THE GILBERTS UNIFIED DEVELOPMENT ORDINANCE**

***(251 Valencia Parkway)***

**WHEREAS**, Paul Middleton (“*Owner*”), the owner of the property located at 251 Valencia Parkway, Gilberts, Illinois 60136, which property is more specifically described on **Exhibit A** (“*Property*”), desires to construct an in-ground pool in the rear yard of the Property; and

**WHEREAS**, the Property is currently zoned in the R-3 Residential Zoning District, and is served with a sewer instead of a septic field; and

**WHEREAS**, Section 3-6(A) of the Gilberts Unified Development Ordinance (“*UDO*”) requires a 30-foot rear yard setback for residences served by a sewer in the R-3 Residential Zoning District; and

**WHEREAS**, Section 10-8-1(E) of the UDO provides that no private swimming pool or any accessory apron, walk or equipment room may protrude into any required rear yard; and

**WHEREAS**, the Owner filed an application for a variance from Section 3-6(A) to allow for the in-ground pool to be located 10 feet from the rear yard lot line instead of the required 30 feet (“*Variance*”); and

**WHEREAS**, the Gilberts Plan Commission/Zoning Board of Appeals held a public hearing and reviewed the Owner’s request for the Variance on May 12, 2021, and at the conclusion of the public hearing voted to recommend approval of the Variance to allow for the Owner to construct the in-ground pool within the required rear yard setback; and

**WHEREAS**, the Village Board makes the following findings of fact in reference to the Owner’s application for approval of the Variance for the Property:

- a. The Property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district;
- b. The extraordinary or exceptional conditions of the Property requiring the request for the Variance was not caused by the Owner;
- c. The proposed Variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship;
- d. The denial of the proposed Variance will deprive the Owner of the use permitted to be made by the owners of property in the immediate area;
- e. The proposed Variance will result in structures that are appropriate to and compatible



with the character and scale of structures in the area in which the Variance is being requested;

- f. There is no other means other than the requested Variance by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the Property.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES** of the Village of Gilberts, Kane County, Illinois as follows:

**Section 1. Recitals.** The recitals are incorporated into this Section 1 as if fully set forth.

**Section 2. Variance.** Subject to the conditions set forth in Section 3 of this Ordinance, the Village Board of Trustees hereby approves the following variance for the Property:

A variance from Section 3-6(A) of the UDO to allow the in-ground pool on the Property to be located 10 feet from the rear yard lot line instead of the required 30 feet.

**Section 3. Conditions.** The approvals granted pursuant to Section 2 of this Ordinance are conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the President and Board of Trustees, be grounds for the repeal and revocation of the approvals granted by this Ordinance in accordance with applicable law. In addition, any violation of this Ordinance will be deemed a violation of the UDO and subject the Owner to enforcement proceedings accordingly.

- A. **No Authorization of Work.** This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind may be commenced on the Property pursuant to the approvals granted in this Ordinance unless and until all conditions of this Ordinance precedent to that work have been fulfilled and after all permits, approvals, and other authorizations for the work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. **Compliance with Laws.** The UDO, the Building Code, and all other applicable Village ordinances and regulations shall continue to apply to the Property, and the development and use of the Property must comply with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.

**Section 4. Severability.** In the event a court of competent jurisdiction finds this Ordinance or any provision hereof to be invalid or unenforceable as applied, such finding shall not affect the validity of the remaining provisions of this ordinance and the application thereof to the greatest extent permitted by law.

**Section 5. Repeal and Saving Clause.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions, or cause of action which shall have accrued to the Village of Gilberts prior to the effective date of this Ordinance.

**Section 6. Effective Date.** Upon its passage and approval according to law, this Ordinance shall, by authority of the Board of Trustees, be published in pamphlet form; provided, however, that this Ordinance shall be of no force or effect unless and until the Owner has executed and filed with the Village its unconditional agreement and consent, in the form attached to this Ordinance as **Exhibit B**, within 30 days following the passage of this Ordinance.

ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, pursuant to roll call vote as follows:

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Dan Corbett	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
Trustee David LeClercq Sr.	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Village President, Guy Zambetti

(SEAL)

ATTEST: \_\_\_\_\_  
Village Clerk, Courtney Baker

Published: \_\_\_\_\_

**Exhibit A**

*Description of the Property*

*Common Address:* 251 Valencia, Gilberts, Il 60136

*PINs:* 02-25-227-001

**Exhibit B**

**Unconditional Agreement and Consent**

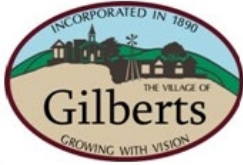
Pursuant to Section 6 of Ordinance No. \_\_\_\_\_, and to induce the Village to grant the approvals provided for in that Ordinance, the undersigned acknowledges for itself and its successors and assigns in title to the Property that it:

- 1. has read and understand all of the terms and provisions of Ordinance No. \_\_\_\_\_;
- 2. hereby unconditionally agrees to accept, consent to, and abide by all of the terms, conditions, restrictions, and provisions of this Ordinance, the UDO, and all other applicable codes, ordinances, rules, and regulations;
- 3. acknowledges and agrees that the Village is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village’s issuance of any permits for the use of the Property, and that the Village’s issuance of any permit does not, and shall not, in any way, be deemed to insure the owner or lessee against damage or injury of any kind and at any time;
- 4. acknowledges that the public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any revocation on the grounds of any procedural infirmity or any denial of any procedural right; and
- 5. represents and acknowledges that the person signing this Unconditional Agreement and Consent is duly authorized to do so on behalf of the Owner.

**Paul Middleton**

\_\_\_\_\_

Date: \_\_\_\_\_



## Village of Gilberts

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

**To:** President Zambetti and Board of Trustees  
**From:** Riley Lynch, Administrative Intern  
**Cc:** Brian Bourdeau, Village Administrator  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 6.B: Approval of a Front Yard Setback Variance at 315 Pierce Street

---

### **Background:**

Mr. Roland Droitsch (“Applicant”) has filed an application and requests approval of a variance at 315 Pierce Street (“Property”) to decrease the required front yard setback in order to install an expanded attached garage on the property.

The Unified Development Ordinance (UDO) requires a minimum 50-foot front yard setback for lots within Dunhill Estates. It’s important to note that there are existing structures within Dunhill Estates that encroaches on this setback requirement, however these are existing legal nonconforming uses. As the construction the Applicant wishes to build constitutes a new structure, it must comply with the applicable setback regulations. Hence the Applicant’s request for a variance from these setback requirements.

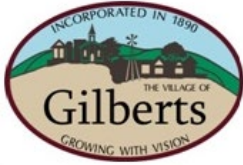
The Applicant desires to construct an attached expanded garage with two bays in which to store their commercial work vehicle (1 commercial vehicle). The expanded garage is proposed to extend approximately 11 feet into the required front yard setback.

### **Plan Commission Recommendation:**

The Plan Commission considered the Applicant’s request at a public hearing on May 12<sup>th</sup>. During the public hearing, one resident spoke in support of the Applicant’s variance request. After the public hearing and deliberation, the Plan Commission unanimously recommended that Board approve this variance as requested.

### **Attachments:**

- 1) Staff memo and related attachments from the May 12, 2021 Plan Commission Meeting



## Village of Gilberts

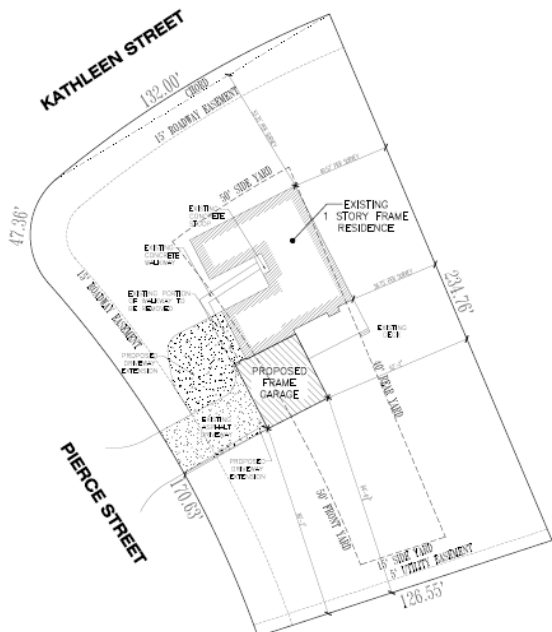
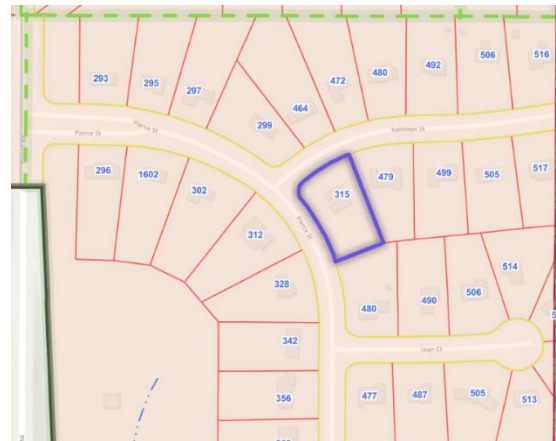
Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

**To:** Plan Commission  
**From:** Brian Bourdeau, Village Administrator  
**Date:** May 12, 2021 Plan Commission Meeting  
**Re:** Item 7: Request from the Property Owner of 315 Pierce Street for a Variance From the Front Setback Requirement

### Background

Mr. Roland Droitsch (**“Applicant”**) has filed an application and requests approval of a variance at 315 Pierce Street (**“Property”**) to decrease the required front yard setback in order to install an expanded attached garage on the property.

The Property is located in the R-2 Residential Zoning District and within the Dunhill Estates subdivision. The R-2 District bulk standards establish a front yard setback of 40 feet; however, there are certain special subdivision standards outlined in the Unified Development Ordinance (UDO) for Dunhill Estates. Section 10-3-6(B)(2b(4)) of the UDO requires a minimum front yard setback of 50 feet in the Dunhill Estates subdivision.



### Variation Request

The Applicant desires to construct an attached expanded garage with two bays in which to store their commercial work vehicle. The expanded garage is proposed to extend approximately 11 feet into the required front yard setback.

The Village’s current UDO requires the 50-foot setback; however, it should be noted that there are existing structures within Dunhill Estates subdivision that are within the 50-foot setback, but these are existing legal non-conforming structures.

Each requested variance should be evaluated in the context of the standards established in the Village's UDO. The Village's UDO Section 10-11-10(F) provides the standards for evaluating requested variance:

*F. Standards for Variations.*

1. *General Standard. No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty.*
2. *Supplemental Standards. In considering proposed variations to this code, the Board of Appeals will consider whether the proposed variation will:*
  - a. *Impair an adequate supply of light and air to adjacent property.*
  - b. *Unreasonable increase the congestion in public streets.*
  - c. *Increase the danger of fire or endanger the public safety.*
  - d. *Unreasonably diminish or impair established property values within the surrounding area.*
  - e. *In any other respects impair the public health, safety, or welfare of the inhabitants of the village.*
3. *Findings of Fact. Upon review of the application and information presented at the public hearing, the Board of Appeals shall consider and adopt findings of fact sustaining each of the following criteria which are consistent with the rules provided to govern determinations of the Board of Appeals as referenced by state statute.*
  - a. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district.*
  - b. *The extraordinary or exceptional conditions of the property requiring the request for the variance were not caused by the applicant.*
  - c. *The proposed variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship.*
  - d. *The denial of the proposed variance will deprive the applicant the use permitted to be made by the owners of property in the immediate area.*
  - e. *The proposed variance will result in a structure that is appropriate to and compatible with the character and scale of structures in the area in which the variance is being requested.*

*There is no other means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.*

**Attachments:**

- 1) Applicant's Variance Application with Narrative Regarding Need for a Variance
- 2) Applicant's Site and Building Plans for the Proposed Garage

**VILLAGE OF GILBERTS**

87 Galligan Road  
Gilberts, IL. 60136  
Telephone: 847-428-2861  
Fax: 847-428-2955

APPLICATION FOR A VARIANCE

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For Office Use Only

Case. No. \_\_\_\_\_ Hearing Date: \_\_\_\_\_

Date Published: \_\_\_\_\_ Newspaper: \_\_\_\_\_

.....  
**NOTICE TO APPLICANT:** A variation is a zoning adjustment which permits minor changes in requirements where an individual property is both harshly and uniquely burdened by the strict application of the law. No variation may be granted which would adversely affect surrounding or the general neighborhood.

....**A plat of survey of property and a drawing or plan of proposed change drawn to scale must accompany this request along with the application fee (see fee scheduled attached). Deposits for professional fees are required in an amount to be determined by the Village.**

**Please Print**

Name and address of the owner of the property

Camille Kroll and Roland Droitsch

315 Pierce Street

Gilberts, IL 60136

Applicant's Telephone Number: 224-622-1057

Applicant's Cell Phone Number: \_\_\_\_\_

Applicant's email address: \_\_\_\_\_

Applicant's Fax Number: \_\_\_\_\_

Address of variance: 315 Pierce Street, Gilberts, Illinois

Legal Description (attached to application)

Zoning District: R-2

Present Use: residence



Request

Owner/Applicant request a change in (please circle one) Yard, Parking, Height, Lot

If other, please explain:

**Front setback requirement**

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Requirements of Article 10 Section 3-6 Page 17

The following facts are pertinent to the request change:

**See Attached pertinent facts**

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Conditions and/or hardship which justify changing requirements of Zoning Code  
(Description in detail).

**See attached description of hardship**

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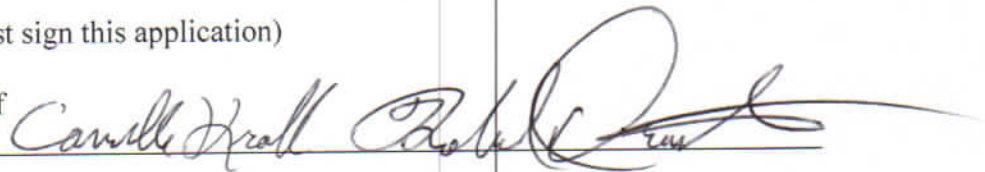
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To the best of my knowledge, the preceding facts are accurate and complete.

(Owner must sign this application)

Signature of  
Owner(s)



Date: 9-4-2020

Attest: \_\_\_\_\_

Applicant:

\_\_\_\_\_

Date: \_\_\_\_\_

Attest: \_\_\_\_\_

## PERTINENT FACTS:

315 Pierce Street is in the Dunhill Estates Subdivision. The owner drives a commercial vehicle. In accordance with the ordinances of the Village of Gilberts it must be stored in the garage when kept at the property. The vehicle is too long for the existing attached garage on the property. The owner proposes to enlarge the existing attached garage so the vehicle can be stored in it, but to stay consistent with the architectural style of the home the enlarged garage will extend approximately 11 feet past the 50-foot front setback for the width of the attached garage. The owner therefore seeks a variation for the front setback requirement to allow her to enlarge the existing attached garage as described.

## DESCRIPTION OF HARDSHIP:

If the owners are unable to store the commercial vehicle on the property they will incur substantial additional expense and complicate the operation of the business so that they will incur substantial financial and personal hardships.

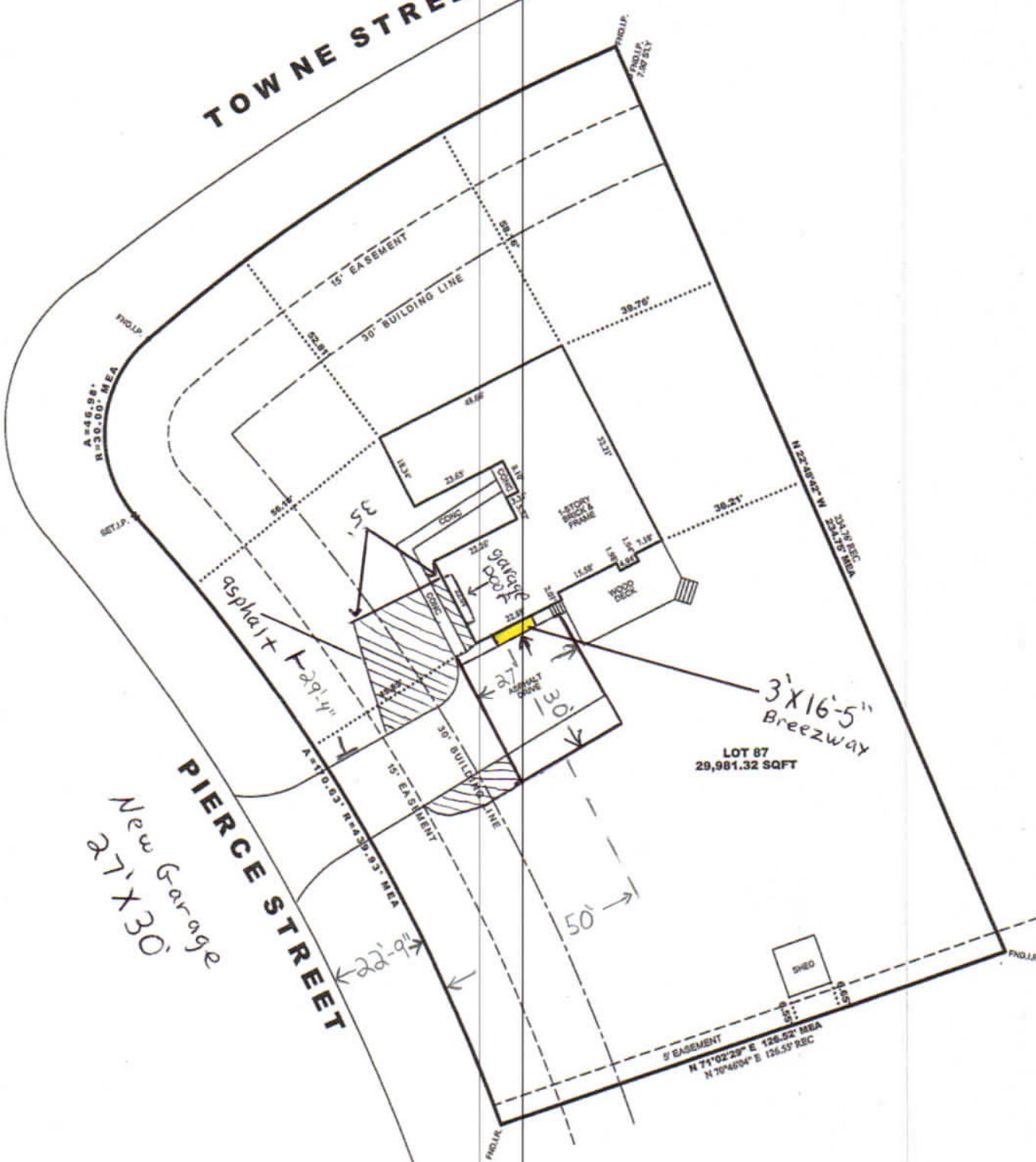
315 Pierce Street was built on or about 1990, in the Dunhill Estates subdivision. The plat of subdivision shows a building setback requirement of only 30 feet. The owners bought the property in the Spring of 2019. Neither the title commitment, nor the survey provided at the closing, disclosed any other setback lines greater than 30 feet.

A 50-foot front setback was created when the Village of Gilberts enacted the Unified Development Ordinance in 2014. However, many of the homes in the subdivision encroach onto the 50-foot setback.

By enlarging the garage the owners are attempting to comply with the ordinances of the Village of Gilberts which require storage of the commercial vehicle, but the 50-foot setback makes it difficult to comply with that ordinance and other Village ordinances, such as the requirement to maintain the original architectural style of the existing buildings, and the prohibition against detached garages. Therefore, the benefit to the public by enforcing the existing setback requirement is small when compared with the hardship imposed on the owners.

The proposed enlargement of the garage would be done in harmony with the general look of the homes in the area and the existing building and will be in compliance with the 30-foot setback shown on the plat of subdivision. It will also be consistent with the other homes since many of them were built over the 50-foot setback, and will not cause there to be any detrimental effect to any adjacent property, the neighborhood or public safety.

**TOWNE STREET**



*New Garage  
27' X 30'*

**PIERCE STREET**

**LOT 87  
29,981.32 SQFT**

*3'x16'-5"  
Breezeway*

5' EASEMENT  
N 71° 02' 29" E 128.02' MEA  
N 70° 40' 04" E 126.55' REC

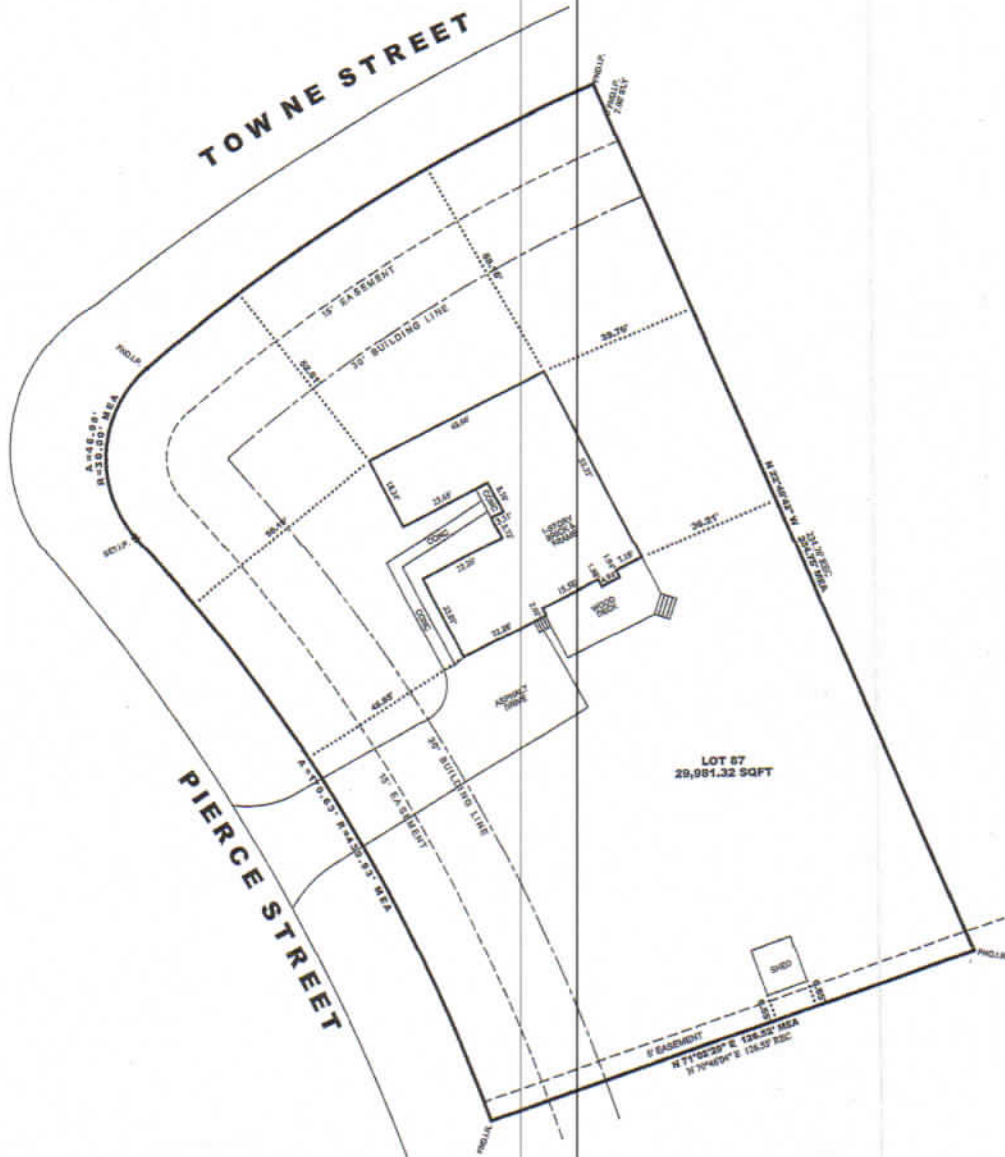
# PLAT OF SURVEY D.F.L.S.

DALE FLOYD LAND SURVEYING L.L.C.  
2600 KESLINGER ROAD SUITE A  
GENEVA, ILLINOIS 60134  
PHONE: 630-232-7705 FAX: 630-232-7725  
E-MAIL: DFLS@SBCGLOBAL.NET



LOT 87 IN DUNHILL SUBDIVISION BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN IN KANE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 315 PIERCE STREET, GILBERTS, ILLINOIS



### LEGEND

FND.I.R. = FOUND IRON ROD  
FND.I.P. = FOUND IRON PIPE  
----- FENCE  
..... BLDG. TIE  
- - - - - BLDG. LINE  
- - - - - EASEMENT

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY THE SAME AND AT ONCE REPORT ANY DIFFERENCE.

JOB NO. 320-4



License expiration date 11-30-2020

FIELD WORK COMPLETED: 3-6-2020

PREPARED FOR ATTY JUDITH SCHENING

STATE OF ILLINOIS

S.S.

COUNTY OF KANE  
WE, DALE FLOYD LAND SURVEYING L.L.C., A PROFESSIONAL DESIGN FIRM, LICENSE NO. 184-007094 DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED IN THE MANNER REPRESENTED ON THE PLAT HEREON DRAWN.

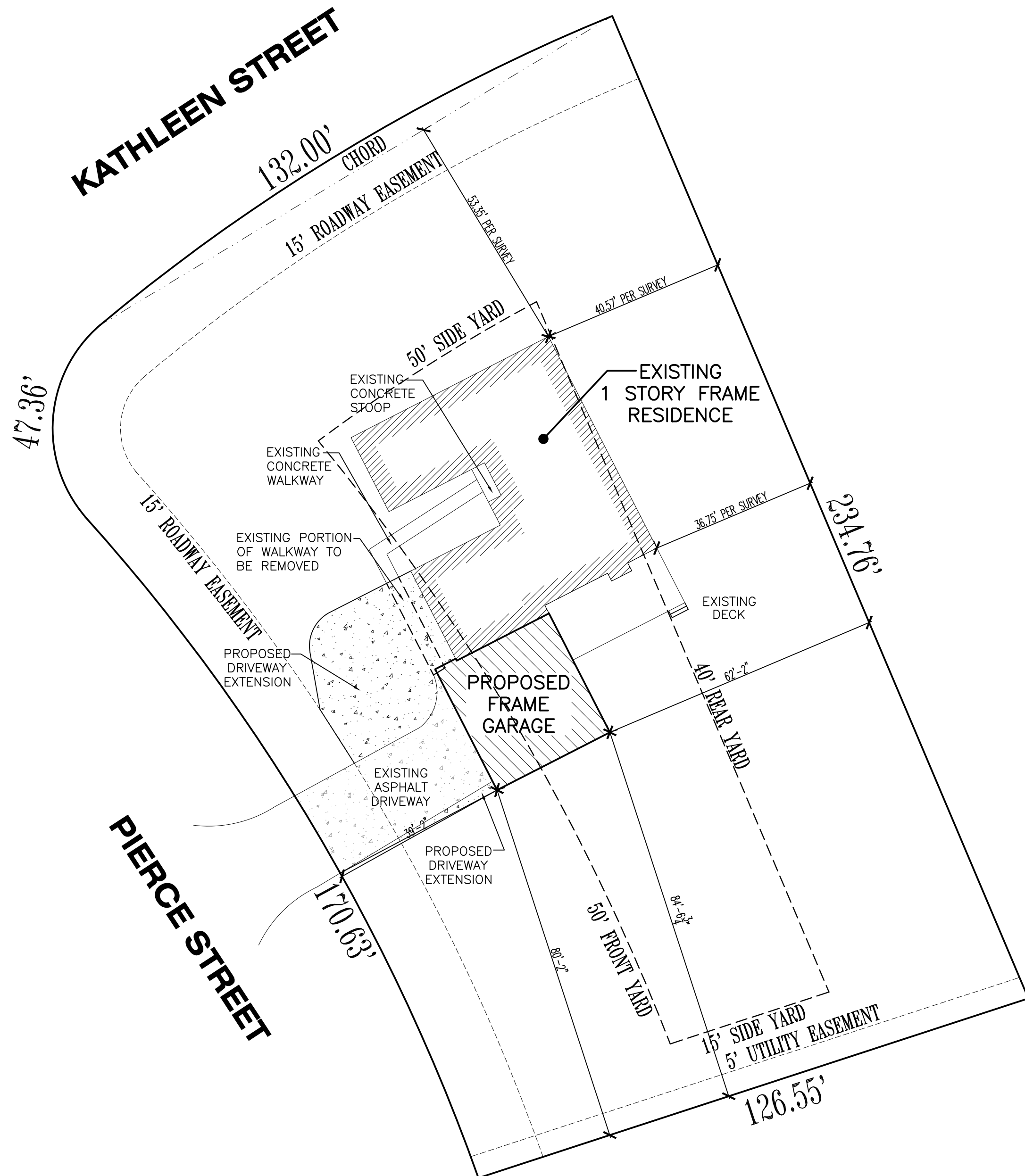
DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

GENEVA, ILLINOIS 3-9 A.D. 2020

*Thomas J. Sieck*  
ILLINOIS PROFESSIONAL LAND SURVEYOR  
NO. 035-003908

# DROITSCH RESIDENCE

315 PIERCE STREET  
GILBERTS, IL 60136



BUILDING LOT COVERAGE	
AREA OF LOT	30,345.5 S.F.
ZONING DISTRICT	R-2A
MAXIMUM LOT COVERAGE	15%
ALLOWABLE LOT COVERAGE	4,551.8 S.F.
PROPOSED LOT COVERAGE	
EXIST. FIRST FLOOR/GARAGE FOOTPRINT	+2,351.5 S.F.
EXIST. PORCHES/STEPS/STOOPS	+399.3 S.F.
PROPOSED GARAGE FOOTPRINT	+828.5 S.F.
TOTAL BLDG. LOT COVERAGE	3,579.3 S.F. ✓

**ARCHITECT'S CERTIFICATION**  
I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with all applicable codes.  
001-018291 11/30/22  
Cert. No. Exp. Date

**IECC - INTERNATIONAL ENERGY CONSERVATION CODE**  
--NOTE TO PLAN REVIEWERS, OFFICIALS & CONTRACTORS--  
\* THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE INTERNATIONAL ENERGY CONSERVATION CODE AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.  
\* THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIPTIVE METHOD AS ALLOWED FOR IN IECC, CHAPTER 1, "ADMINISTRATIVE" (OPTION 1) IECC SCOPE AND APPLICATION ABSTRACT - RESIDENTIAL, OPTION 1, "MEETING OR EXCEEDING ALL APPLICABLE INSULATION VALUES AND SPECIFICATIONS REQUIRED BY THE CODE."  
\* AS SPECIFIED BY THE CODE, OPTION 1, WAVES THE REQUIREMENT OF PERFORMING A "SIMULATED PERFORMANCE ALTERNATIVE" OR "RECHECK" TO EVALUATE THE ENVELOPE. THE PRESCRIPTIVE METHOD EXCEEDS ALL APPLICABLE REQUIREMENTS REQUIRED BY THE CODE AND IS SPECIFICALLY ALLOWED FOR AS A REPLACEMENT FOR THE "SIMULATED PERFORMANCE ALTERNATIVE" OR "RECHECK."  
\* THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE ENERGY CODE AND ARE NOT INTENDED TO RESTRICT THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME. CONTRACTORS SHOULD ALSO VERIFY WHICH EDITION/YEAR ENERGY CODE SHALL BE FOLLOWED BASED ON THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED IN.

**NOTE TO BIDDERS & CONTRACTORS**  
THESE PLANS WERE PREPARED BASED ON THE DOCUMENTATION OF AVAILABLE CODES AND ORDINANCES WHICH ARE OPEN TO APPROVAL AND INTERPRETATION BY THE GOVERNING BODY AUTHORIZED TO ISSUE A BUILDING PERMIT. THE REQUIREMENTS AND BUILDING SPECIFICATIONS ARE SUBJECT TO CHANGE BASED ON THIS APPROVAL AND MAY AFFECT THE COST OF THE PROJECT OR SUCCESSFUL COMPLETION. BIDDERS ARE RESPONSIBLE FOR NOTIFYING THE OWNER(S) OR FINANCIAL INSTITUTION RESPONSIBLE FOR FUNDING THE PROJECT FOR APPROVAL PRIOR TO BEGINNING WORK.  
THIS ARCHITECTURAL DOCUMENTATION IS INTENDED TO GIVE AN OVERALL SCOPE AND DESCRIPTION OF WORK ALONG WITH GENERAL SPECIFICATIONS FOR CONSTRUCTION. NOT ALL INFORMATION REQUIRED OR PERTINENT TO THE PROJECT REQUIRED FOR SUCCESSFUL PROGRESS OR COMPLETION IS INCLUDED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL CODES PERTAINING TO THEIR DISCIPLINES AND BE RESPONSIBLE FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

**PLAN & ELEVATION SYMBOLS**  
15 SHELVES FOR 1 SHEET & ROD SPRINKLER HEAD  
GAS HOOKUP WATER HOOKUP FROST PROOF HOSE BEB  
SHOWER HEAD FAUCET SHOWER HEAD END FLOOR DRAIN  
PRE-FAB FIREPLACE FLUE MASONRY FIREPLACE FLUE REBAR  
CEILING DETAIL DIAGRAM WORK POINT ROOF PITCH  
SECTION/VIEW MARKER ELEVATION MARKER REVISION MARKER  
FACE BRICK HORIZONTAL ASPHALT CONCRETE  
STONE SHAKE SHINGLES CEDAR SHAKE ROOFING GRAVEL  
FIELD STONE STUCCO METAL ROOFING FACE BRICK (OUT SECTION)  
WINDOW & DOOR NOTES  
EXAMPLE WINDOW: 2555 = 2'-5" x 5'-5" (1) - EGRESS WINDOW (2) - TEMPERED GLASS  
EXAMPLE DOOR: 2488 = 2'-4" x 8'-8" (1) - FIXED WINDOW

**ELECTRICAL SYMBOLS**  
SINGLE OUTLET (1) SWITCHED DUPLEX OUTLET (2) TELEVISION JACK  
DUPLEX OUTLET (2) SWITCH TELEPHONE JACK  
QUAD. OUTLET (4) DOOR ACTIVATED SWITCH DIM JACKET  
FLUORESCENT LIGHT FIXTURE UNDER CABINET LED LIGHT STRIP  
WALL MOUNTED LIGHT FIXTURE UNDER CABINET LIGHT  
DIRECTIONAL RECESSED CAN LIGHT LAMP W/ POST  
RECESSED KIP. LED CAN LIGHT CEILING MOUNTED FAN/LIGHT  
FLOOD LIGHT WITH MOTION DET. 110V SMOKE DETECTOR W/ BATTERY BACKUP IN SERIES W/ BATTERY BACKUP RUN ON DEDICATED CIRCUIT  
**WALL TYPES**  
NEW FRAME WALL NEW FOUNDATION WALL & FOOTING  
DRYWALL, ARCHED OR CASING DEEPSSED FOUNDATION WALL  
BEARING WALL ABOVE TR. SILL PLATE @ FDN. WALL

**NOTE TO CONTRACTORS**  
\* ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.  
\* ALL NOTES SHOWN ARE TYPICAL, AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

**CODE CONFORMANCE**  
THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING  
\* 2003 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS  
\* CURRENT ILLINOIS STATE PLUMBING CODE  
\* 2002 NATIONAL ELECTRIC CODE W/ LOCAL AMENDMENTS  
\* 2003 INTERNATIONAL RESIDENTIAL CODE W/ LOCAL AMENDMENTS  
\* 2003 INTERNATIONAL FIRE PREVENTION CODE W/ LOCAL AMENDMENTS  
\* CURRENT INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS  
\* GILBERTS CODE OF ORDINANCES

**DRAWING INDEX**  
A000 SITE PLAN, DRAWING INDEX, GENERAL NOTES  
A011 FIRST FLOOR DEMOLITION PLAN  
A100 FOUNDATION PLAN, FOUNDATION SECTIONS  
A101 FIRST FLOOR PLAN  
A200 FRONT ELEVATION, REAR ELEVATION, RIGHT SIDE ELEVATION  
A300 ROOF PLAN & STRUCTURAL NOTES, WALL SECTIONS, CONSTRUCTION SPECIFICATIONS,

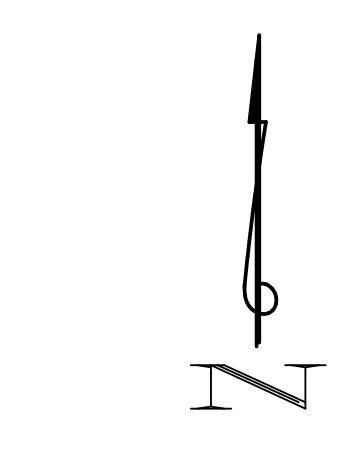
**DESIGN LOADING VALUES**  
ROOF = 30 PSF LIVE LOAD WALLS = 20 PSF WIND FOR 0-20 FT. HEIGHT  
CEILING = 20 PSF LIVE LOAD = 25 PSF WIND FOR 21-29 FT. HEIGHT  
FLOOR = 60 PSF LIVE LOAD FOR EXTERIOR BALCONY = 30 PSF WIND FOR 30 FT. AND ABOVE  
= 40 PSF LIVE LOAD FOR FLOORS, DECKS, STAIRS SOL. = 3000 PSF MINIMUM ASSEMBLED  
OWNER/CONTRACTOR NOTES TO VERIFY  
**CONCRETE/MASONRY NOTES:**  
\* SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT, THICKNESS & REINFORCING OF FOUNDATION WALLS  
\* FOUNDATION REINFORCING TO BE GRADE 60, LAP CONTINUOUS BARS 3X DIAMETERS.  
\* ALL FOUNDATION WALLS WITH FULL MASONRY VENEER ABOVE TO BE A MINIMUM OF 10" THICK  
\* ALL EXTERIOR WALKWAYS-ENGLISH-BASEMENT-FRAME WALLS 4" x 8" x 1/2" SHEATHING  
\* STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS & 3500 PSI FOR CONCRETE FLAT WORK AND EXTREME CONDITIONS  
\* ALL PORCELES, STEPS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3500 PSI & BETWEEN 5/8" & 7/8" AIR ENTRAINED  
\* FOUNDATION HEIGHT TO BE AT SUCH A LEVEL SO NEW TOP OF FINISHED FLOOR MATCHES  
\* EXISTING TOP OF FINISHED FLOOR-UNLESS OTHERWISE NOTED  
\* PROVIDE SAME CUTS IN EXISTING FOUNDATION TO PROVIDE FOR ADEQUATE ACCESS EITHER TO NEW FRAME-SPACE OR BASEMENT PER PLANS AND HEAD LOGS  
\* PROVIDE SAME CUTS IN EXISTING FOUNDATION FOR ACCESS TO NEW ADDITION AS REQUIRED  
\* CONTRACTOR IS RESPONSIBLE TO PROVIDE VERIFICATION OF EXISTING STRENGTH AND DEPTH OF EXISTING FOUNDATION AND FOOTING.  
\* MASONRY MORTAR TO BE TYPE N.

**WINDOW NOTES:**  
\* VERIFY ALL NEW WINDOW SIZES IN FIELD PRIOR TO PURCHASE  
\* NEW WINDOWS TO MATCH EXISTING WINDOW TYPE & STYLE, UNLESS OTHERWISE NOTED  
\* TOP OF WINDOWS IN REMODELED AREAS TO MATCH EXISTING UNLESS FOLLOWING HDR. HEIGHTS BELOW  
- FOR BASEMENTS, TOP OF WINDOWS @ 6'-0" (80") ABOVE FLOOR SLAB, UNLESS OTHERWISE NOTED  
- FOR 10'-0" PLATES, TOP OF WINDOWS @ 10'-0" (4") ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED  
- FOR 8'-0" PLATES, TOP OF WINDOWS @ 8'-0" (4") ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED  
- FOR 6'-0" PLATES, TOP OF WINDOWS @ 6'-0" (4") ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED  
\* ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES  
EXAMPLE: 2555 = 2'-5" x 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.  
\* PROVIDE (2) 2 X 12 HDR. ABOVE ALL NEW WINDOWS & OPENINGS, UNLESS OTHERWISE NOTED  
\* VERIFY ALL EXISTING HEADERS, WHERE BEARING WILL BE INCREASED AS A RESULT OF THE REMODELING, TO BE MIN. (2) 2 X 12 HDR. UNLESS OTHERWISE NOTED  
\* PROVIDE TEMPERED SAFETY GLAZING IN ALL NEW WINDOWS WITHIN 24" OF ANY DOOR, WITHIN 18" OF FLOOR, IN TUB & SHOWER ENCLOSURES, & IN STAIR WELLS  
\* WINDOW GUARDS THAT COMPLY WITH ASTM F2008 OR F2090 WHEN NEW WINDOW SILLS ARE LESS THAN 24" ABOVE FINISHED FLOOR  
\* ALL NEW FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:  
WINDOWS & DOORS = (0.30), SKYLIGHTS = (0.55)  
\* WINDOW & DOOR TAGS: FIXED WINDOW = (1), EGRESS WINDOW = (2), TEMPERED GLASS = (3)  
**STRUCTURAL NOTES:**  
\* PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, KITCHEN ISLANDS & POINT LOADS  
\* ALL INTERIOR FRAME WALL PARTITIONS = 4" x 4" (2 X 4 STUD), UNLESS OTHERWISE NOTED  
\* ALL EXTERIOR FRAME WALLS = 4" x 4" (2 X 4 STUD) + 1" SHEATHING  
\* ALL EXTERIOR FRAME WALLS WITH MASONRY VENEER = 9" x 12" (2 X 4 STUD) + 1" SHEATHING  
\* ALL EXTERIOR FRAME WALLS WITH MASONRY VENEER = 14" x 4" (2 X 4 STUD) + 1" SHEATHING  
\* ALL EXTERIOR FRAME WALLS WITH MASONRY VENEER = 14" x 4" (2 X 4 STUD) + 1" SHEATHING + 1" AIR SPACE + 1" MASONRY VENEER  
\* ALL EXTERIOR FRAME WALLS = 6" x 6" (2 X 6 STUD) + 1/2" SHEATHING  
\* ALL EXTERIOR FRAME WALLS WITH MASONRY VENEER = 14" x 4" (2 X 4 STUD) + 1/2" SHEATHING + 1" AIR SPACE + 1" MASONRY VENEER  
\* ALL EXTERIOR DIMENSIONS ARE SHOWN TO EXTERIOR OF WALL SHEATHING OR MASONRY VENEER & ALSO CONFORMS WITH EXTERIOR OF FOUNDATION EDGE  
\* ALL STEEL TO BE A-36 & STRUCTURAL STEEL BOLTS TO BE A-325  
\* PROVIDE (2" x 4" x 1/2" x 6-1/2") STEEL ANGLE L.L.V. ABOVE OPENINGS UP TO 10'-0" WIDE WITH MASONRY VENEER ABOVE  
\* PROVIDE (2" x 4" x 1/2" x 6-1/2") STEEL ANGLE L.L.V. ABOVE OPENINGS FROM 9'-0" TO 10'-0" WIDE WITH MASONRY VENEER ABOVE  
\* PROVIDE (2" x 4" x 1/2" x 6-1/2") STEEL ANGLE L.L.V. ABOVE 10'-0" & 10'-0" WIDE OVERHEAD DOORS WITH UP TO 2'-0" OF MASONRY VENEER ABOVE  
\* PROVIDE (2" x 4" x 1/2" x 6-1/2") STEEL ANGLE L.L.V. ABOVE 10'-0" & 10'-0" WIDE OVERHEAD DOORS WITH MORE THAN 2'-0" OF MASONRY VENEER ABOVE  
\* STEEL FABRICATOR SHALL PROVIDE ALL MISCELLANEOUS CONNECTORS & SHIMS FOR A COMPLETE INSTALLATION  
\* STEEL PLATE BEAMS TO BE CONNECTED WITH 1/2" BOLTS STAGGERED @ 20" O.C. & (2) @ EACH END  
\* ALL STEEL BEAMS, LINTELS & COLUMN PLATES SHALL BE SHOP PRIMED  
\* WALLS SHALL BE BRACED @ EACH END @ 25'-0" O.C. MAX.  
\* ALL JOISTS, STUDS & RAFTERS TO BE S-P F# (CANADIAN), UNLESS OTHERWISE NOTED  
\* ALL HEADERS TO BE (2) 2 X 12 SP# (CANADIAN), UNLESS OTHERWISE NOTED  
\* THE DIAMETER OF HOLES BORED INTO SOLID SWAIN FRAMING MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER & SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE.  
\* THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED FRAMING MEMBERS SHALL FOLLOW MFG. APPROVED SPECIFICATIONS  
\* PROVIDE PRE-ENGINEERED FLOOR JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS ON THE JOBSITE AT THE TIME OF INSPECTIONS  
\* PRE-ENGINEERED FLOOR JOIST TO BE BY "TRUSJOIST" MANUFACTURER OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS  
\* PRE-ENGINEERED FLOOR JOIST SUPPLIER SHALL PROVIDE JOIST LIGHT FIXTURE MANUFACTURER PRIOR TO START OF ROUGH FRAMING  
\* (2) 2 X STUDS IN INTERIOR PARTITIONS WITH DOUBLE JOIST BELOW, UNLESS OTHERWISE NOTED  
\* (2) 2 X STUDS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED  
\* (2) 2 X STUDS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED  
\* ALL EXTERIOR WALLS OVER 10'-0" TALL TO BE MIN. 2 X 6 STUDS @ 16" O.C.  
\* ADD 2 X HORIZONTAL BLOCKING, SAME WIDTH AS STUDS, BETWEEN STUDS IN EXTERIOR WALLS OVER 8'-0" IN HEIGHT. FASTEN EXTERIOR SHEATHING TO BLOCKING & TO STUDS.  
\* HALF WALLS TO BE MIN. 36" TALL, UNLESS OTHERWISE NOTED  
\* FIREBLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:  
- CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING STAGGERED OR PARALLEL ROWS OF STUDS, VERTICAL AT CEILING & FLOOR LEVELS AND HORIZONTAL AT 10'-0" INTERVALS  
- ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND CROWN MOULDINGS  
- CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP & BOTTOM OF THE STAIR RUN  
- OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND PREPARED AT CEILING & AT FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS

**ELECTRICAL NOTES**  
\* WHEN REMODELING OR ADDING A KITCHEN, LAUNDRY ROOM OR GARAGE, THE FOLLOWING NOTES APPLY:  
- ALL OUTLETS ABOVE-KITCHEN-COUNTERS TO BE SP# @ MAXIMUM 48" O.C.  
- ALL OUTLETS WITHIN 9'-0" OF ANY SINK OR WASH-BASIN TO BE SP#  
\* ALL OUTLETS IN GARAGE TO BE GFI  
\* WHEN REMODELING OR ADDING TO EXISTING STRUCTURES THE FOLLOWING NOTES APPLY:  
\* ALL EXISTING ELECTRICAL COMPONENTS WHICH ARE AFFECTED BY THE REMODELING AND/OR ADDITION ARE TO BE ADJUSTED, REPAIRED, MOVED OR MODIFIED AS REQUIRED TO CONFORM TO CURRENT LOCAL & NATIONAL ELECTRICAL CODES  
\* WHEN MODIFYING AN EXISTING RESIDENCE (ALTERATIONS, REPAIRS OR MODIFICATIONS) THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODE & LOCATED AS REQUIRED FOR A NEW DWELLING.  
- (1) COMBO SMOKE/CARBON MONOXIDE DETECTOR @ EACH FLOOR LEVEL  
- (1) SMOKE DETECTOR IN EACH BEDROOM  
- (1) COMBO SMOKE/CARBON MONOXIDE DETECTOR WITHIN 15'-0" OF EACH BEDROOM DOOR/ENTRANCE  
\* ALL TYPICAL ROOM OUTLETS TO BE SPACED MAX. 12'-0" APART, UNLESS OTHERWISE NOTED  
\* VERIFY THAT NO POINT ALONG ANY WALL 2'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 6'-0" FROM AN OUTLET  
\* ALL ELECTRICAL CONDUCTORS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING  
\* ALL OUTLETS SHALL BE ARC FAULT PROTECTED  
\* ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT  
\* RECESSED MANAGEMENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED 4" MIN. FROM TOP OF SHIP-BOARD MOUNTED INCANDESCENT LIGHT FIXTURES IN WALK-IN CLOSETS SHALL BE 12" MIN. IN HEIGHT FROM TOP SHELF & SHALL BE FULLY ENCLOSED WITH A GLOBE SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN CLOSETS  
\* ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CEILING FAN  
\* PROVIDE SEPARATE 20 AMP CIRCUITS FOR KITCHEN REFRIGERATORS, MICROWAVES, GARAGE DISPOSALS & DISHWASHERS  
\* PROVIDE SEPARATE LOCAL DISCONNECTS FOR KITCHEN GARAGE DISPOSALS & DISHWASHERS  
\* PROVIDE MIN. 36" DEEP x 30" WIDE x 78" HIGH CLEAR WORK AREA IN FRONT OF ELECTRICAL PANEL  
\* PROVIDE 200 AMP ELECTRICAL SERVICE FOR BUILDINGS UP TO 6,000 SF.  
\* PROVIDE 400 AMP ELECTRICAL SERVICE FOR BUILDINGS OVER 6,000 SF.

**FINISHES**  
\* ALL INTERIOR & EXTERIOR FINISHES INCLUDING BUT NOT LIMITED TO MOLDING, DOORS, WINDOWS, SIDING, ROOFING, ETC. ARE TO MATCH EXISTING UNLESS OTHERWISE NOTED.

- NOTES:
- VERIFY UTILITY LOCATIONS.
  - VERIFY TREES TO BE REMOVED WITH OWNER
  - VERIFY STRUCTURE LOCATION WITH OTHERS.  
SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.
  - REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
  - BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.



1E  
A000  
SITE PLAN  
1"=20'

REVISIONS

5			
4			
3			
2			
1			

DESIGN STAGE

CONCEPTUAL DESIGN	
PRELIMINARY DESIGN	
DESIGN DEVELOPMENT	
RELEASE FOR BID	
FINAL REVIEW	
RELEASE FOR PERMIT	
REVISION	

DROITSCH RESIDENCE  
315 PIERCE ST.  
GILBERTS, IL 60136

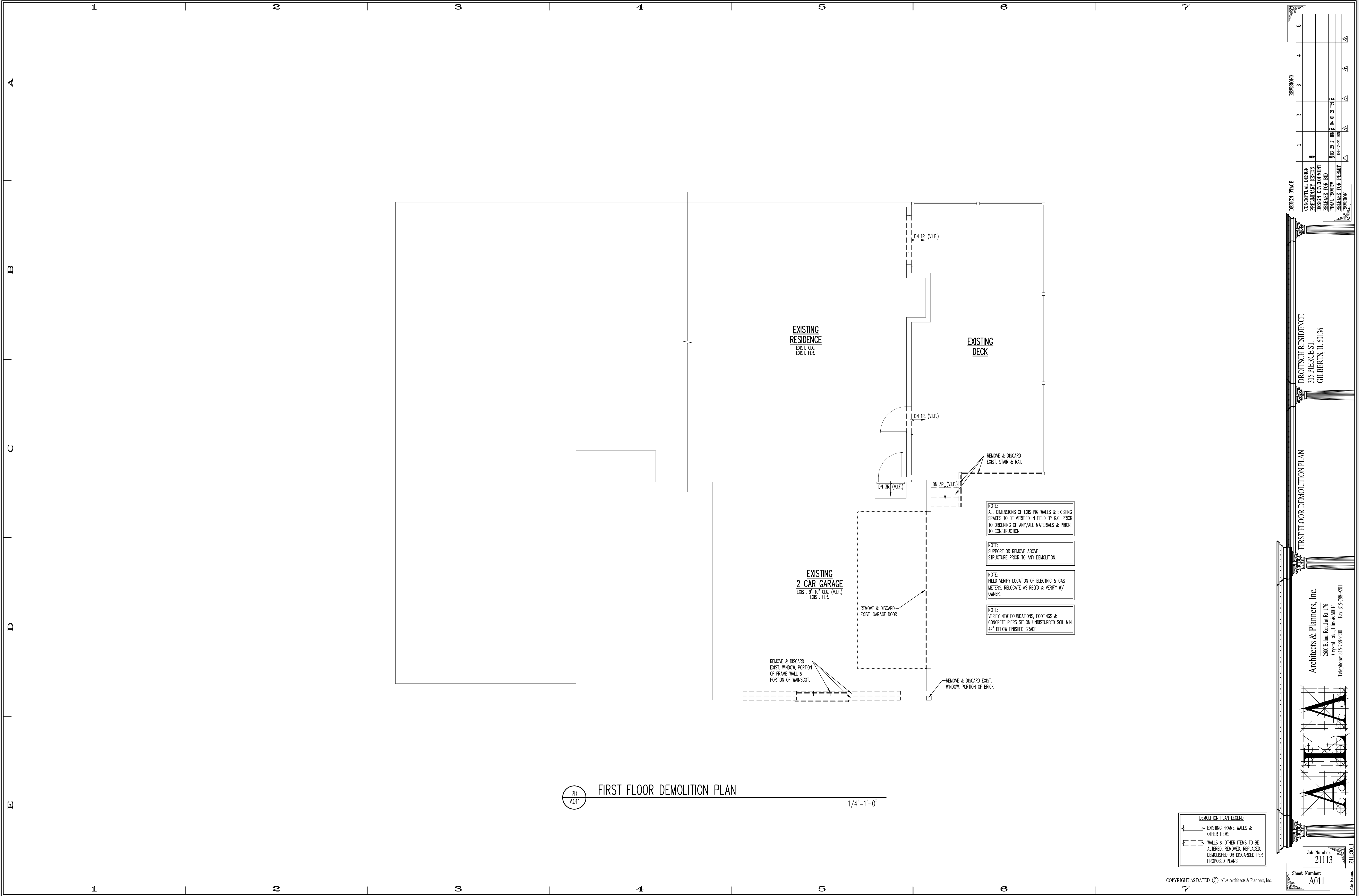
SITE PLAN  
DRAWING INDEX  
GENERAL NOTES

Architects & Planners, Inc.  
2000 Behan Road at Rt. 176  
Crystal Lake, Illinois 60014  
Telephone: 815-788-0200 Fax: 815-788-0201

**ALIA**  
Architects & Planners, Inc.

Job Number: 21113  
Sheet Number: A000  
Date: 11/30/22

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- NOTE: ALL DIMENSIONS OF EXISTING WALLS & EXISTING SPACES TO BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING OF ANY/ALL MATERIALS & PRIOR TO CONSTRUCTION.
- NOTE: SUPPORT OR REMOVE ABOVE STRUCTURE PRIOR TO ANY DEMOLITION.
- NOTE: FIELD VERIFY LOCATION OF ELECTRIC & GAS METERS. RELOCATE AS REQ'D & VERIFY W/ OWNER.
- NOTE: VERIFY NEW FOUNDATIONS, FOOTINGS & CONCRETE PIERS SIT ON UNDISTURBED SOIL MIN. 42" BELOW FINISHED GRADE.

20  
A011

FIRST FLOOR DEMOLITION PLAN

1/4"=1'-0"

DEMOLITION PLAN LEGEND

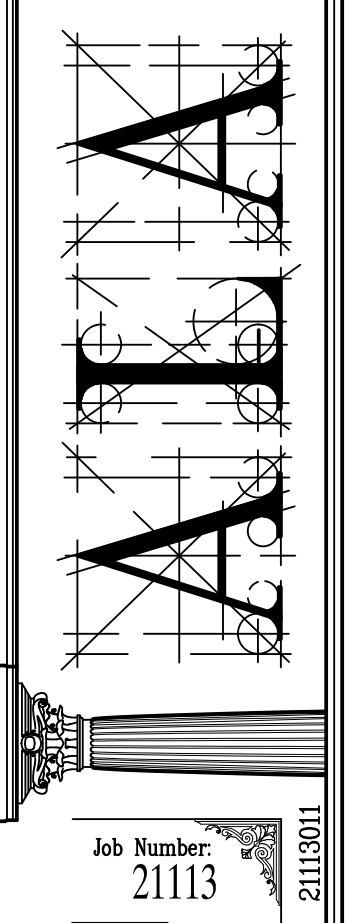
	EXISTING FRAME WALLS & OTHER ITEMS
	WALLS & OTHER ITEMS TO BE ALTERED, REMOVED, REPLACED, DEMOLISHED OR DISCARDED PER PROPOSED PLANS.

DESIGN STAGE	REVISION
CONCEPTUAL DESIGN	
PRELIMINARY DESIGN	
DESIGN DEVELOPMENT	
RELEASE FOR BID	
FINAL REVIEW	
RELEASE FOR PERMIT	
REVISION	

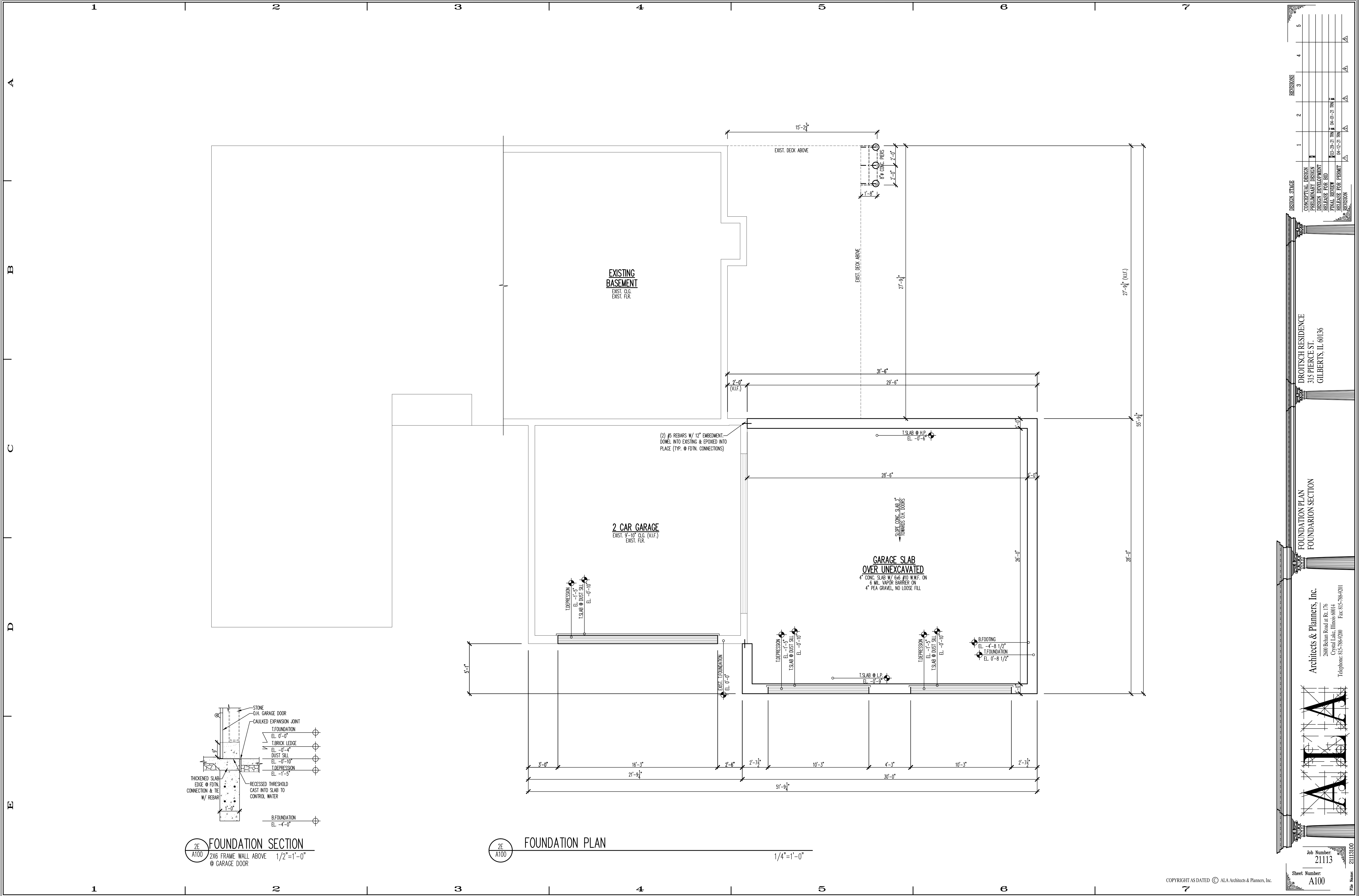
DROITSCH RESIDENCE  
315 PIERCE ST.  
GILBERTS, IL 60136

FIRST FLOOR DEMOLITION PLAN

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2000 Behan Road at Rt. 176  
Crystal Lake, Illinois 60014  
Telephone: 815-788-0200 Fax: 815-788-0201



Job Number: 21113  
Sheet Number: A011  
Plan Number: 21113.011



NO.	REVISIONS	DATE	BY	CHKD.
1	CONCEPTUAL DESIGN			
2	PRELIMINARY DESIGN			
3	DESIGN DEVELOPMENT			
4	RELEASE FOR BID	04-02-21		
5	FINAL REVIEW	04-02-21		
6	RELEASE FOR PERMIT	04-12-21		
7	REVISION			

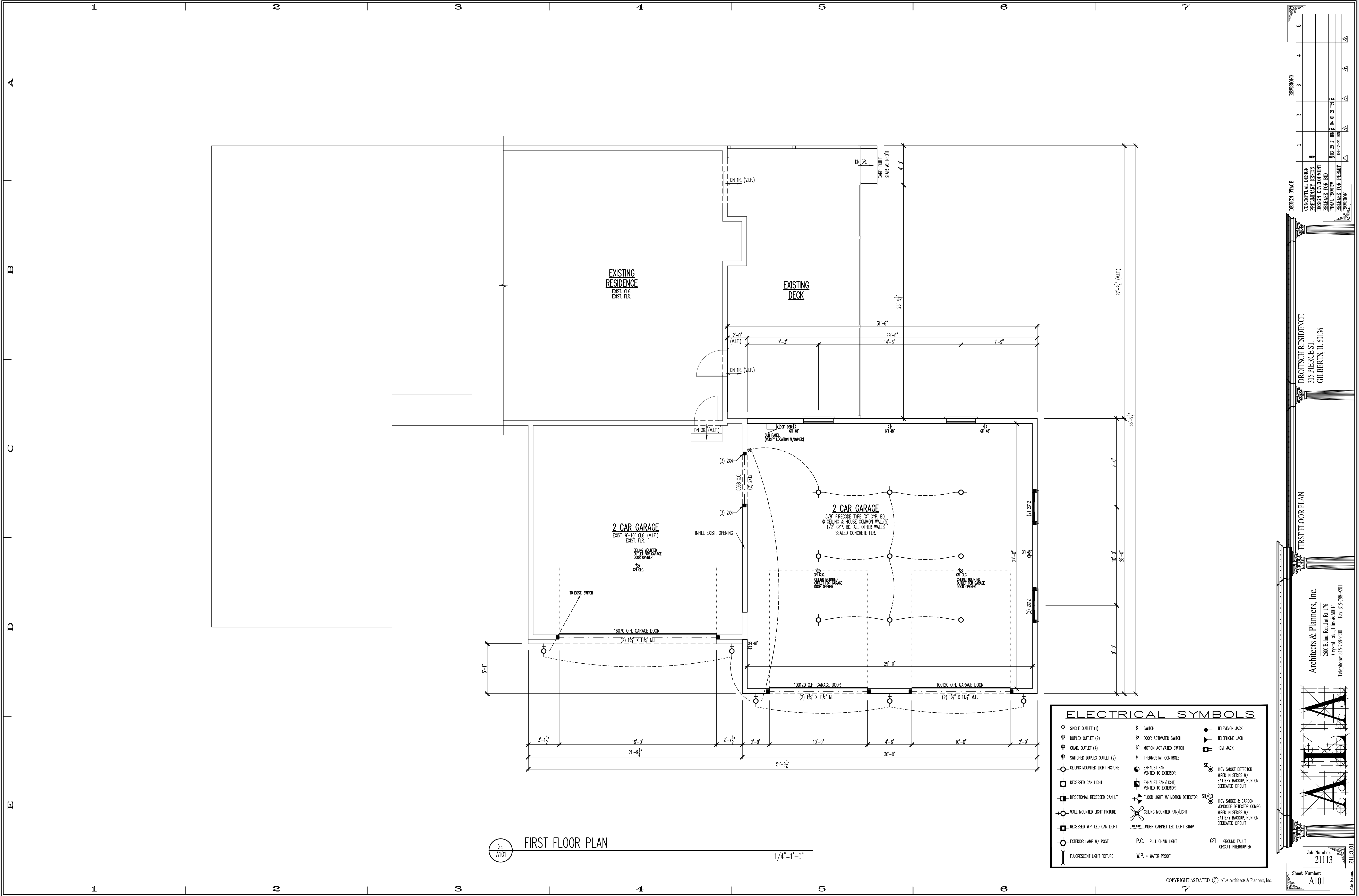
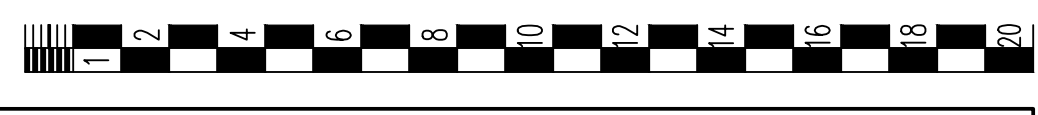
DESIGN STAGE  
 CONCEPTUAL DESIGN  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 RELEASE FOR BID  
 FINAL REVIEW  
 RELEASE FOR PERMIT  
 REVISION

**DROITSCH RESIDENCE**  
 315 PIERCE ST.  
 GILBERTS, IL 60136

**FOUNDATION PLAN**  
**FOUNDATION SECTION**

**ALA Architects & Planners, Inc.**  
 2000 Behan Road at Rt. 176  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-0200 Fax: 815-788-0201

Job Number: 21113  
 Sheet Number: A100  
 Plot Number: 21113/00



2E  
A101  
FIRST FLOOR PLAN  
1/4" = 1'-0"

ELECTRICAL SYMBOLS		
⊕ SINGLE OUTLET (1)	⚡ SWITCH	⦿ TELEVISION JACK
⊕ DUPLEX OUTLET (2)	⚡ DOOR ACTIVATED SWITCH	⦿ TELEPHONE JACK
⊕ QUAD. OUTLET (4)	⚡ MOTION ACTIVATED SWITCH	⦿ HDMI JACK
⊕ SWITCHED DUPLEX OUTLET (2)	⚡ THERMOSTAT CONTROLS	⦿ 110V SMOKE DETECTOR WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ CEILING MOUNTED LIGHT FIXTURE	⚡ EXHAUST FAN, VENTED TO EXTERIOR	⦿ 110V SMOKE & CARBON MONOXIDE DETECTOR COMBO, WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ RECESSED CAN LIGHT	⚡ EXHAUST FAN/LIGHT, VENTED TO EXTERIOR	⦿ 110V SMOKE & CARBON MONOXIDE DETECTOR COMBO, WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ DIRECTIONAL RECESSED CAN LT.	⚡ FLOOD LIGHT W/ MOTION DETECTOR	⦿ 110V SMOKE & CARBON MONOXIDE DETECTOR COMBO, WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ WALL MOUNTED LIGHT FIXTURE	⚡ CEILING MOUNTED FAN/LIGHT	⦿ 110V SMOKE & CARBON MONOXIDE DETECTOR COMBO, WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ RECESSED W.P. LED CAN LIGHT	⚡ UNDER CABINET LED LIGHT STRIP	⦿ 110V SMOKE & CARBON MONOXIDE DETECTOR COMBO, WIRED IN SERIES W/ BATTERY BACKUP, RUN ON DEDICATED CIRCUIT
⊕ EXTERIOR LAMP W/ POST	P.C. = PULL CHAIN LIGHT	GF = GROUND FAULT CIRCUIT INTERRUPTER
⊕ FLUORESCENT LIGHT FIXTURE	W.P. = WATER PROOF	

REVISIONS	NO.	DATE	DESCRIPTION
	1	04-02-21	RELEASE FOR BID
	2	04-02-21	RELEASE FOR BID
	3	04-02-21	RELEASE FOR PERMIT
	4		
	5		

DESIGN STAGE  
 CONCEPTUAL DESIGN  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 RELEASE FOR BID  
 FINAL REVIEW  
 RELEASE FOR PERMIT

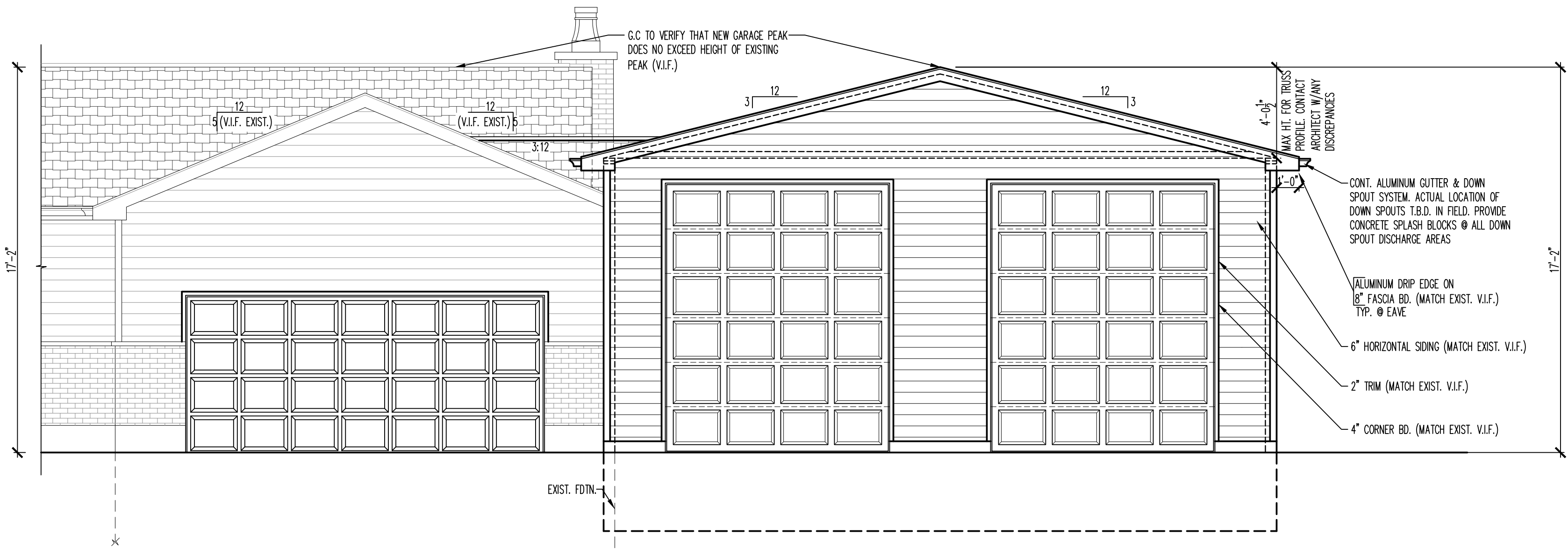
DROITSCH RESIDENCE  
 315 PIERCE ST.  
 GILBERTS, IL 60136

Architects & Planners, Inc.  
 2600 Behan Road at Rt. 176  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-0200 Fax: 815-788-0201

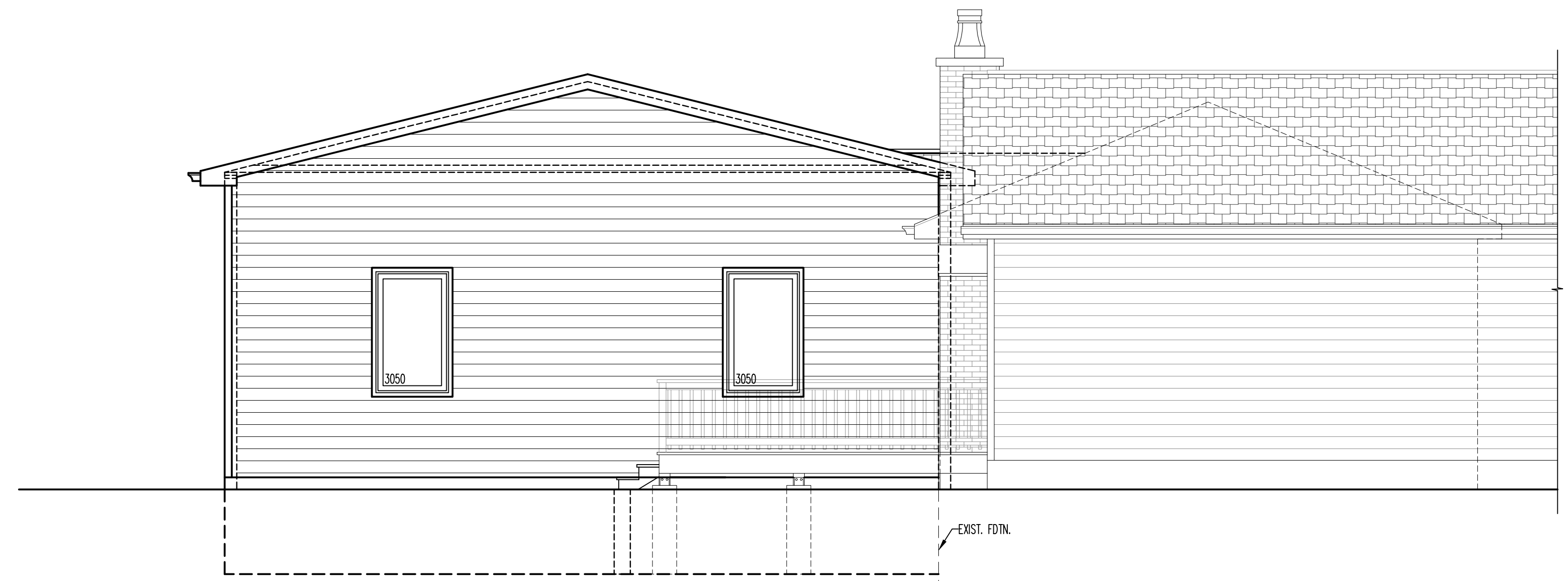
Job Number: 21113  
 Sheet Number: A101  
 Date: 2/11/2021



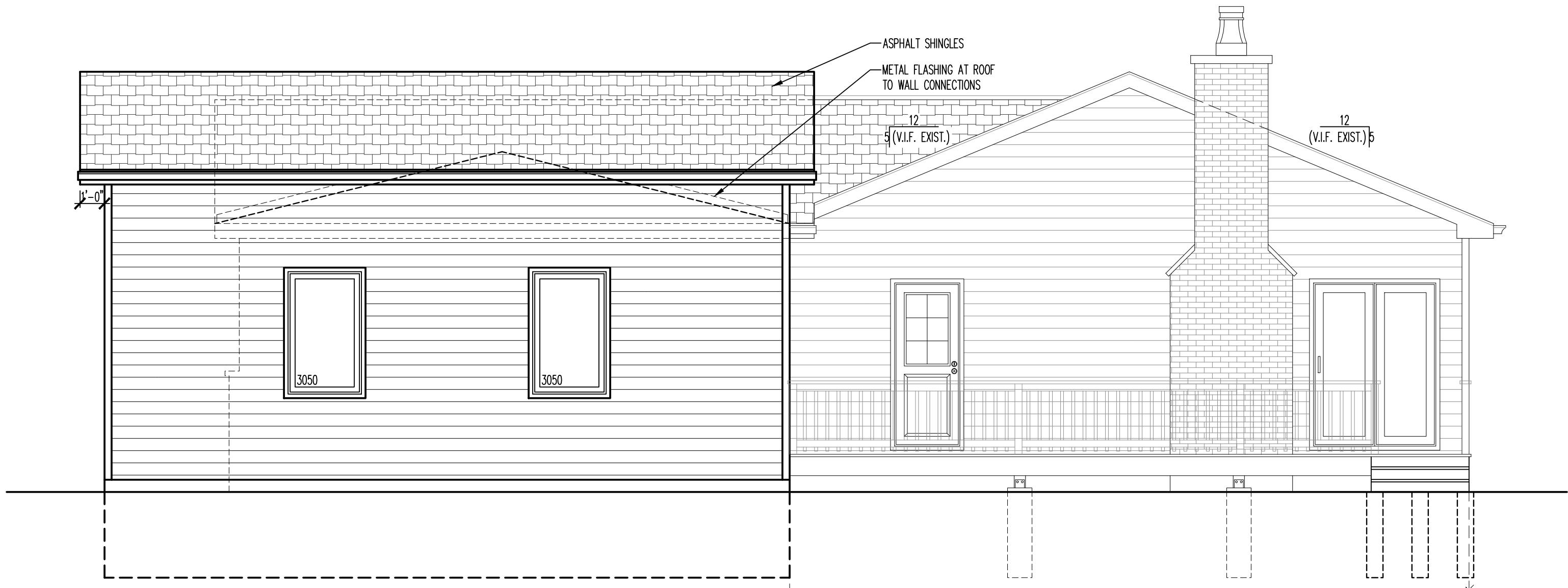
- ELEVATION NOTES**
- \* DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
  - \* WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP, RETAINING A COMMON EAVE DISTANCE.
  - \* SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
  - \* IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS
- WINDOW NOTES**
- \* ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES
  - EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON W/F.
  - EGRESS WINDOW =
  - TEMPERED GLASS =
  - FIXED WINDOW =
- REMODELING & ADDITION NOTES**
- \* WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
  - \* ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED, VERIFY WITH OWNER.
  - \* ALL NEW FASCIA, FRIZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED, VERIFY WITH OWNER.
  - \* VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
  - \* ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.



2B  
A200  
FRONT ELEVATION  
1/4"=1'-0"



2C  
A200  
REAR ELEVATION  
1/4"=1'-0"



2E  
A201  
RIGHT SIDE ELEVATION  
1/4"=1'-0"

DESIGN STAGE	REVISIONS
CONCEPTUAL DESIGN	1
PRELIMINARY DESIGN	2
DESIGN DEVELOPMENT	3
RELEASE FOR BID	4
FINAL REVIEW	5
RELEASE FOR PERMIT	6
REVISION	7

DROTSCH RESIDENCE  
315 PIERCE ST.  
GILBERTS, IL 60136

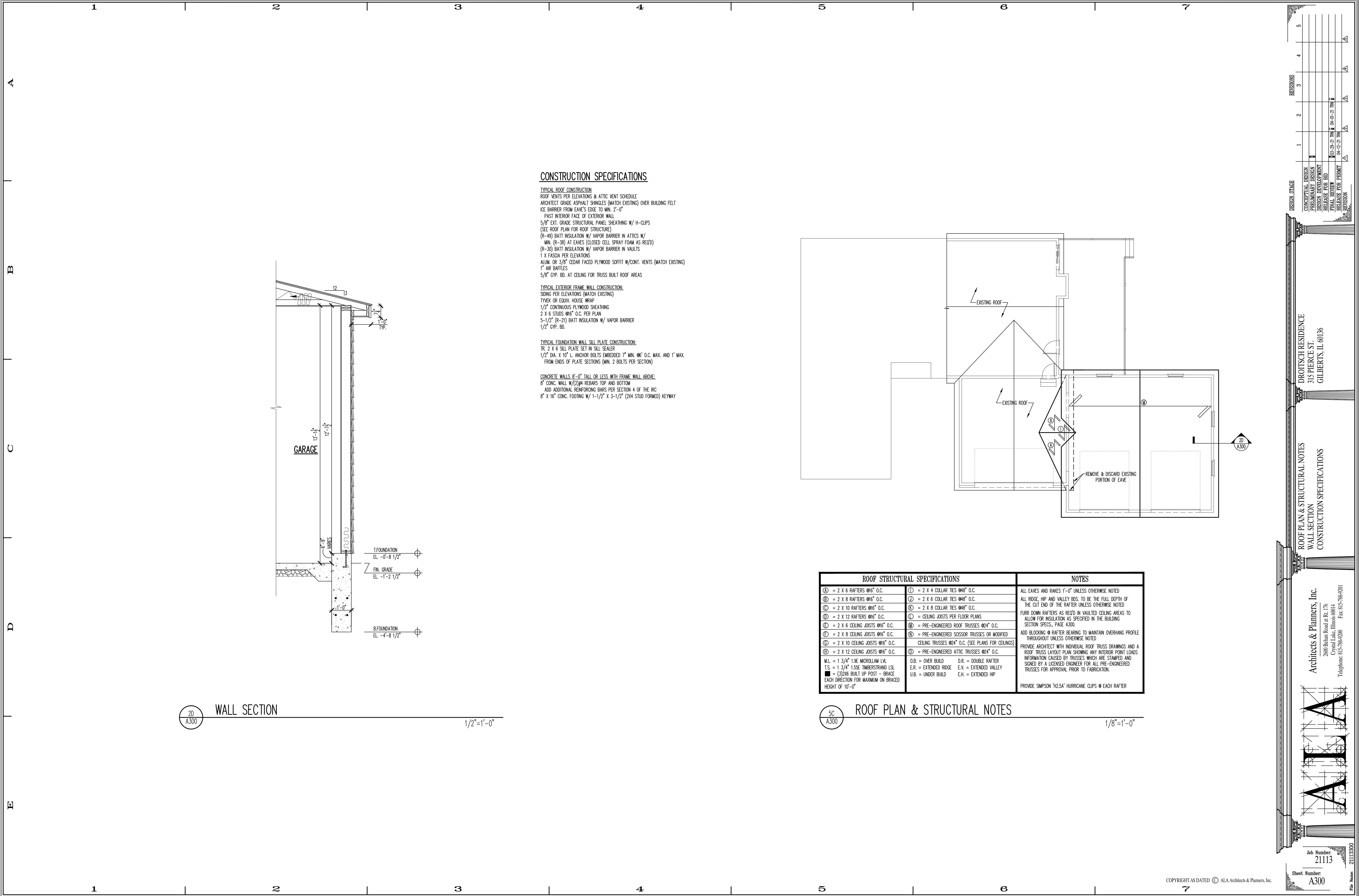
FRONT ELEVATION  
REAR ELEVATION  
RIGHT SIDE ELEVATION

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**ALA**

Job Number: 21113  
Sheet Number: A200  
Pin Number: 21113200

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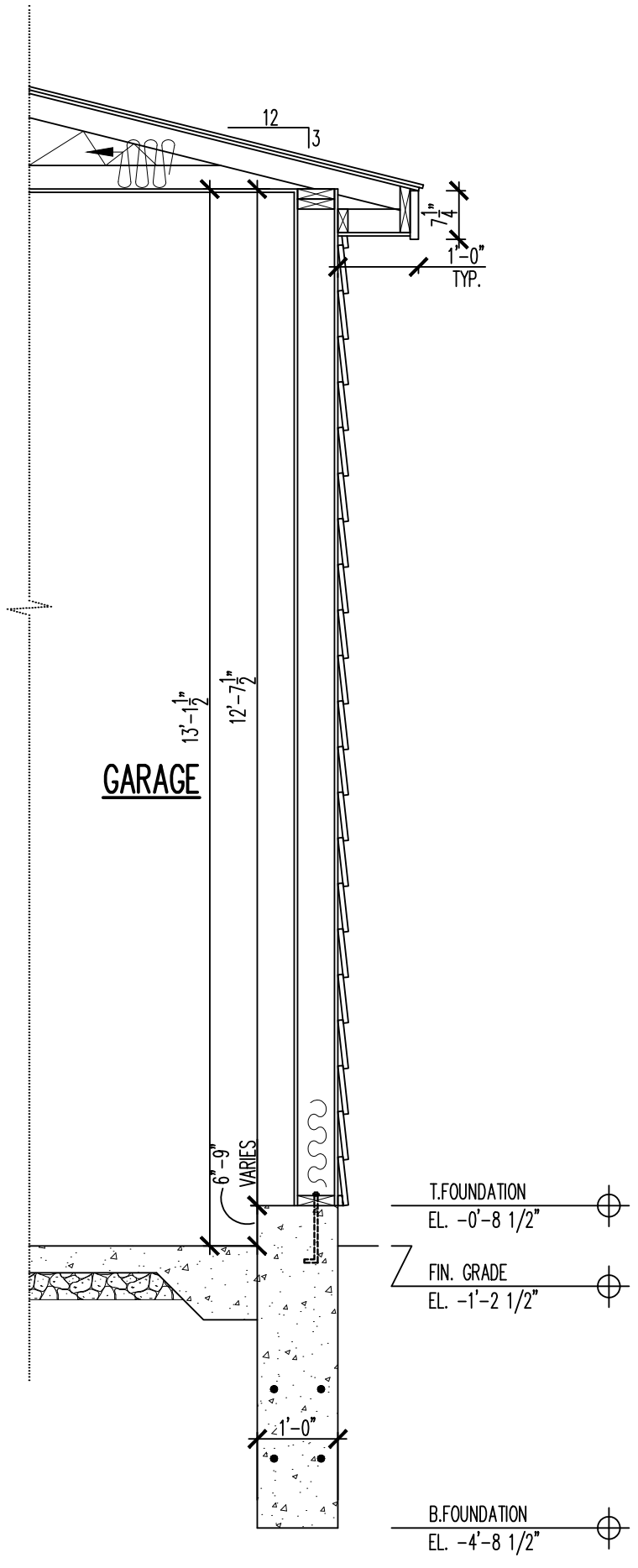
**CONSTRUCTION SPECIFICATIONS**

**TYPICAL ROOF CONSTRUCTION**  
ROOF VENTS PER ELEVATIONS & ATTIC VENT SCHEDULE  
ARCHITECT GRADE ASPHALT SHINGLES (MATCH EXISTING) OVER BUILDING FELT  
ICE BARRIER FROM EAVE'S EDGE TO MIN. 2'-0"  
PAST INTERIOR FACE OF EXTERIOR WALL  
5/8" EXT. GRADE STRUCTURAL PANEL SHEATHING W/ H-CLIPS  
(SEE ROOF PLAN FOR ROOF STRUCTURE)  
(R-49) BATT INSULATION W/ VAPOR BARRIER IN ATTICS W/  
MIN. (R-38) AT EAVES (CLOSED CELL SPRAY FOAM AS REQ'D)  
(R-30) BATT INSULATION W/ VAPOR BARRIER IN VAULTS  
1 X FASQA PER ELEVATIONS  
ALUM. OR 3/8" CEDAR FACED PLYWOOD SOFFIT W/CONT. VENTS (MATCH EXISTING)  
1" AIR BAFFLES  
5/8" GYP. BD. AT CEILING FOR TRUSS BUILT ROOF AREAS

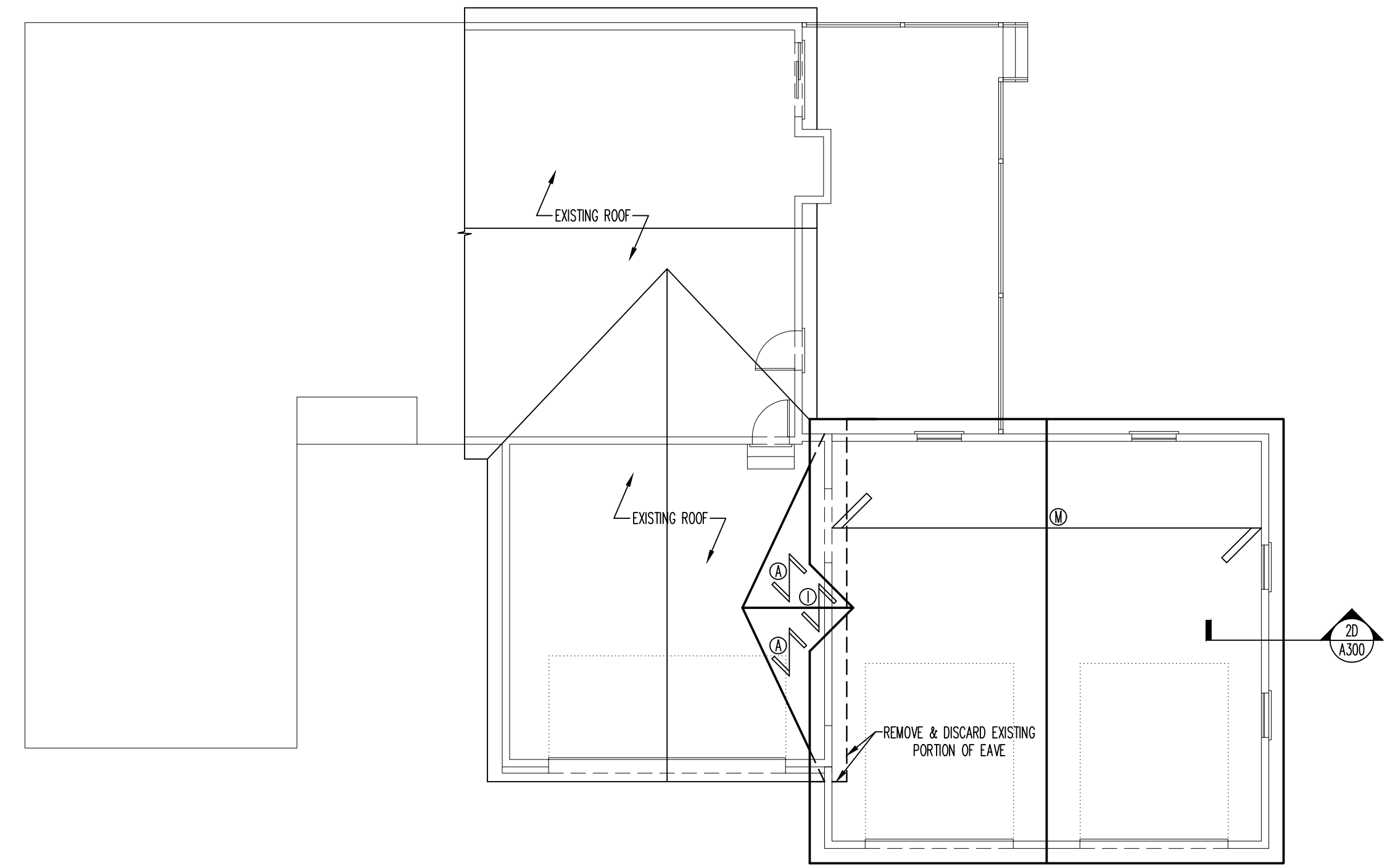
**TYPICAL EXTERIOR FRAME WALL CONSTRUCTION:**  
SIDING PER ELEVATIONS (MATCH EXISTING)  
TYVEK OR EQUIV. HOUSE WRAP  
1/2" CONTINUOUS PLYWOOD SHEATHING  
2 X 6 STUDS @16" O.C. PER PLAN  
5-1/2" (R-21) BATT INSULATION W/ VAPOR BARRIER  
1/2" GYP. BD.

**TYPICAL FOUNDATION WALL SILL PLATE CONSTRUCTION:**  
TR. 2 X 6 SILL PLATE SET IN SILL SEALER  
1/2" DIA. X 10" L. ANCHOR BOLTS EMBEDDED 7" MIN. @6" O.C. MAX. AND 1" MAX.  
FROM ENDS OF PLATE SECTIONS (MIN. 2 BOLTS PER SECTION)

**CONCRETE WALLS 8'-0" TALL OR LESS WITH FRAME WALL ABOVE:**  
8" CONC. WALL W/ (2) #4 REBARS TOP AND BOTTOM  
ADD ADDITIONAL REINFORCING BARS PER SECTION 4 OF THE IRC  
8" X 16" CONC. FOOTING W/ 1-1/2" X 3-1/2" (2X4 STUD FORMED) KEYWAY



20 A300 WALL SECTION 1/2"=1'-0"



ROOF STRUCTURAL SPECIFICATIONS		NOTES
(A) = 2 X 6 RAFTERS @16" O.C.	(1) = 2 X 4 COLLAR TIES @48" O.C.	ALL EAVES AND RAKES 1'-0" UNLESS OTHERWISE NOTED
(B) = 2 X 8 RAFTERS @16" O.C.	(2) = 2 X 6 COLLAR TIES @48" O.C.	ALL RIDGE, HIP AND VALLEY BOES. TO BE THE FULL DEPTH OF THE CUT END OF THE RAFTER UNLESS OTHERWISE NOTED
(C) = 2 X 10 RAFTERS @16" O.C.	(3) = 2 X 8 COLLAR TIES @48" O.C.	FURR DOWN RAFTERS AS REQ'D IN VAULTED CEILING AREAS TO ALLOW FOR INSULATION AS SPECIFIED IN THE BUILDING SECTION SPECS. PAGE A300
(D) = 2 X 12 RAFTERS @16" O.C.	(4) = CEILING JOISTS PER FLOOR PLANS	ADD BLOCKING @ RAFTER BEARING TO MAINTAIN OVERHANG PROFILE THROUGHOUT UNLESS OTHERWISE NOTED
(E) = 2 X 6 CEILING JOISTS @16" O.C.	(5) = PRE-ENGINEERED ROOF TRUSSES @24" O.C.	PROVIDE ARCHITECT WITH INDIVIDUAL ROOF TRUSS DRAWINGS AND A ROOF TRUSS LAYOUT PLAN SHOWING ANY INTERIOR POINT LOADS INFORMATION CAUSED BY TRUSSES WHICH ARE STAMPED AND SIGNED BY A LICENSED ENGINEER FOR ALL PRE-ENGINEERED TRUSSES FOR APPROVAL PRIOR TO FABRICATION.
(F) = 2 X 8 CEILING JOISTS @16" O.C.	(6) = PRE-ENGINEERED SCISSOR TRUSSES OR MODIFIED CEILING TRUSSES @24" O.C. (SEE PLANS FOR CEILINGS)	PROVIDE SIMPSON 'H2.5A' HURRICANE CLIPS @ EACH RAFTER HEIGHT OF 10'-0"
(G) = 2 X 12 CEILING JOISTS @16" O.C.	(7) = PRE-ENGINEERED ATTIC TRUSSES @24" O.C.	
M.L. = 1 3/4" 15E MICROLAM LVL	D.B. = OVER BUILD D.R. = DOUBLE RAFTER	
T.S. = 1 3/4" 155E TIMBERSTRAND LSL	E.R. = EXTENDED RIDGE E.V. = EXTENDED VALLEY	
(S) = (3)2X6 BUILT UP POST - BRACE EACH DIRECTION FOR MAXIMUM ON BRACED HEIGHT OF 10'-0"	U.B. = UNDER BUILD E.H. = EXTENDED HIP	

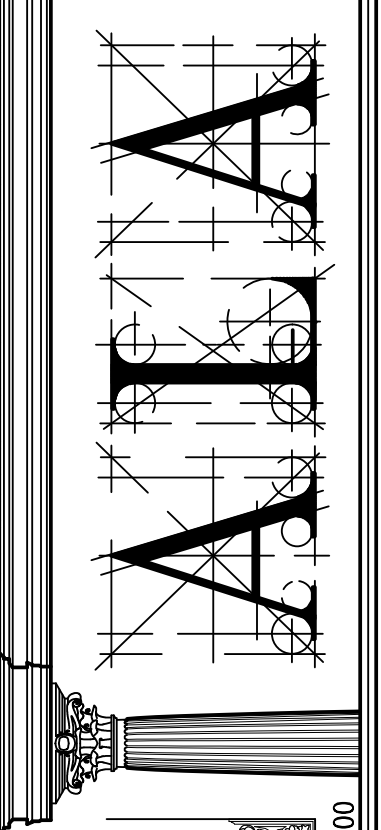
5C A300 ROOF PLAN & STRUCTURAL NOTES 1/8"=1'-0"

DESIGN STAGE	REVISION
CONCEPTUAL DESIGN	1
PRELIMINARY DESIGN	2
DESIGN DEVELOPMENT	3
RELEASE FOR BID	4
FINAL REVIEW	5
RELEASE FOR PERMIT	6
REVISION	7

DROTSCH RESIDENCE  
315 PIERCE ST.  
GILBERTS, IL 60136

ROOF PLAN & STRUCTURAL NOTES  
WALL SECTION  
CONSTRUCTION SPECIFICATIONS

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Job Number: 21113  
Sheet Number: A300  
Date: 2/11/20

**VILLAGE OF GILBERTS**

**ORDINANCE NO. 09-2021**

**AN ORDINANCE APPROVING  
A VARIANCE FROM THE GILBERTS UNIFIED DEVELOPMENT ORDINANCE**

*(315 Pierce Street)*

**WHEREAS**, Roland Droitsch (“*Owner*”), the owner of the property located at 315 Pierce Street, Gilberts, Illinois 60136, which property is more specifically described on **Exhibit A** (“*Property*”), desires to construct an expanded attached garage on the Property; and

**WHEREAS**, the Property is currently zoned in the R-2 Rural Residential Zoning District, and is located within the Dunhill Estates Subdivision; and

**WHEREAS**, Section 3-6(B) of the Gilberts Unified Development Ordinance (“*UDO*”) requires a minimum front yard setback of 50 feet for properties within the Dunhill Estates Subdivision; and

**WHEREAS**, the Owner filed an application for a variance from Section 3-6(B) to allow for the expanded attached garage to encroach into the required 50 foot front yard setback by 11 feet (“*Variance*”); and

**WHEREAS**, the Gilberts Plan Commission/Zoning Board of Appeals held a public hearing and reviewed the Owner’s request for the Variance on May 12, 2021, and at the conclusion of the public hearing voted to recommend approval of the Variance to allow for the Owner to construct the expanded attached garage within the front yard setback; and

**WHEREAS**, the Village Board makes the following findings of fact in reference to the Owner’s application for approval of the Variance for the Property:

- a. The Property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district;
- b. The extraordinary or exceptional conditions of the Property requiring the request for the Variance was not caused by the Owner;
- c. The proposed Variance will alleviate a peculiar, exceptional or undue hardship, as distinguished from a mere inconvenience or pecuniary hardship;
- d. The denial of the proposed Variance will deprive the Owner of the use permitted to be made by the owners of property in the immediate area;
- e. The proposed Variance will result in structures that are appropriate to and compatible with the character and scale of structures in the area in which the Variance is being requested;
- f. There is no other means other than the requested Variance by which the alleged hardship

or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the Property.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES** of the Village of Gilberts, Kane County, Illinois as follows:

**Section 1. Recitals.** The recitals are incorporated into this Section 1 as if fully set forth.

**Section 2. Variance.** Subject to the conditions set forth in Section 3 of this Ordinance, the Village Board of Trustees hereby approves the following variance for the Property:

A variance from Section 3-6(B) of the UDO to allow the expanded attached garage on the Property to encroach 11 feet into the required 50 foot front yard setback.

**Section 3. Conditions.** The approvals granted pursuant to Section 2 of this Ordinance are conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the President and Board of Trustees, be grounds for the repeal and revocation of the approvals granted by this Ordinance in accordance with applicable law. In addition, any violation of this Ordinance will be deemed a violation of the UDO and subject the Owner to enforcement proceedings accordingly.

- A. **No Authorization of Work.** This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind may be commenced on the Property pursuant to the approvals granted in this Ordinance unless and until all conditions of this Ordinance precedent to that work have been fulfilled and after all permits, approvals, and other authorizations for the work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. **Compliance with Laws.** The UDO, the Building Code, and all other applicable Village ordinances and regulations shall continue to apply to the Property, and the development and use of the Property must comply with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.

**Section 4. Severability.** In the event a court of competent jurisdiction finds this Ordinance or any provision hereof to be invalid or unenforceable as applied, such finding shall not affect the validity of the remaining provisions of this ordinance and the application thereof to the greatest extent permitted by law.

**Section 5. Repeal and Saving Clause.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions, or cause of action which shall have accrued to the Village of Gilberts prior to the effective date of this Ordinance.

**Section 6. Effective Date.** Upon its passage and approval according to law, this Ordinance shall, by authority of the Board of Trustees, be published in pamphlet form; provided, however, that this Ordinance shall be of no force or effect unless and until the Owner has executed and

filed with the Village its unconditional agreement and consent, in the form attached to this Ordinance as **Exhibit B**, within 30 days following the passage of this Ordinance.

ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, pursuant to roll call vote as follows:

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Dan Corbett	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
Trustee David LeClercq Sr.	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Village President, Guy Zambetti

(SEAL)

ATTEST: \_\_\_\_\_  
Village Clerk, Courtney Baker

Published: \_\_\_\_\_

**Exhibit A**

*Description of the Property*

*Common Address:* 315 Pierce Street, Gilberts, IL 60136

*PINs:* 02-25-227-001

**Exhibit B**

**Unconditional Agreement and Consent**

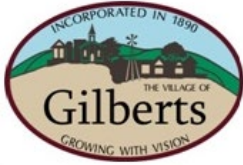
Pursuant to Section 6 of Ordinance No. \_\_\_\_\_, and to induce the Village to grant the approvals provided for in that Ordinance, the undersigned acknowledges for itself and its successors and assigns in title to the Property that it:

- 1. has read and understand all of the terms and provisions of Ordinance No. \_\_\_\_\_;
- 2. hereby unconditionally agrees to accept, consent to, and abide by all of the terms, conditions, restrictions, and provisions of this Ordinance, the UDO, and all other applicable codes, ordinances, rules, and regulations;
- 3. acknowledges and agrees that the Village is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village’s issuance of any permits for the use of the Property, and that the Village’s issuance of any permit does not, and shall not, in any way, be deemed to insure the owner or lessee against damage or injury of any kind and at any time;
- 4. acknowledges that the public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any revocation on the grounds of any procedural infirmity or any denial of any procedural right; and
- 5. represents and acknowledges that the person signing this Unconditional Agreement and Consent is duly authorized to do so on behalf of the Owner.

**Roland Droitsch**

\_\_\_\_\_

Date: \_\_\_\_\_



*Village of Gilberts*

Village Hall  
87 Galligan Road, Gilberts, Illinois 60136  
Ph. 847-428-2861 Fax: 847-428-2955  
www.villageofgilberts.com

**To:** President Zambetti and Board of Trustees  
**From:** Riley Lynch, Administrative Intern  
**Cc:** Brian Bourdeau, Village Administrator  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 6.C: Propose Text Amendment Regarding the Keeping of Livestock

---

**Background:**

The Village's Unified Development Ordinance ("UDO") currently allows new agricultural uses in any zoning district upon the issuance of a special use permit. Specifically, Section 10-8-6(D)(1)(b) of the UDO allows for the "breeding, keeping, and grazing of livestock, poultry, and other farm animals" as a special use in any zoning district, excluding the A-1 Agricultural District.

As the Board may recall, the UDO was amended in 2018 to limit the keeping of livestock in the A-1 District to only lots of 5 acres or more, and only then upon the issuance of a special use permit.

This text amendment seeks to make Section 10-8-6 consistent with the rest of the UDO.

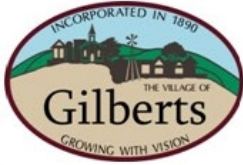
**Plan Commission Recommendation:**

On May 12, 2021, the Plan Commission held a public hearing for this text amendment. There was no public testimony on this item. After the public hearing was closed, the Plan Commission briefly deliberated, and unanimously recommended that the Board approve this text amendment as presented.

**Attachments:**

- 1) Staff report from the May 12<sup>th</sup> 2021 Plan Commission Meeting





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**To:** Plan Commission  
**From:** Riley Lynch, Administrative Intern  
**Cc:** Brian Bourdeau, Village Administrator  
**Date:** May 12, 2021 Plan Commission Meeting  
**Re:** Item 5: A Text Amendment to Section 10-8-6 of the Village's Unified Development Ordinance

---

**Background:**

The Village's Unified Development Ordinance ("UDO") currently allows new agricultural uses in any zoning district upon the issuance of a special use permit. Specifically, Section 10-8-6(D)(1)(b) of the UDO allows for the "breeding, keeping, and grazing of livestock, poultry, and other farm animals" as a special use in any zoning district, excluding the A-1 Agricultural District. Should an individual like to keep farm animals, they would be able to do so regardless of the zoning district their property resides in as long as they obtain a special use permit.

As the Commission may recall, the UDO was amended in 2018 to limit the keeping of livestock in the A-1 District to only lots of 5 acres or more, and only then upon the issuance of a special use permit.

This text amendment will clarify that livestock, poultry, and other farm animals may only be kept in the A-1 District on lots of 5 acres or more, and only upon the issuance of a special use permit. Specifically, the proposed text amendment eliminates the breeding, keeping, and grazing of livestock, poultry, and other farm animals as a special use in zoning districts outside of the A-1 District. The proposed text amendment also clarifies that all new agricultural uses (excluding the keeping of livestock) in any zoning district outside of the A-1 District are allowed only upon the issuance of a special use permit.

**Items for Plan Commission Consideration:**

Under the UDO, there are no specific standards for text amendments that must be satisfied. Instead, the Plan Commission is directed to evaluate the proposed text amendment against the intent of the UDO, the recommendations of the Comprehensive Plan, and the public health, safety, and general welfare. This text amendment was drafted in an effort to ensure consistency within the UDO and its land use regulations governing where livestock may be kept.

## VILLAGE OF GILBERTS

### AN ORDINANCE AMENDING THE VLLAGE'S UNIFIED DEVELOPMENT ORDINANCE REGARDING THE KEEPING OF LIVESTOCK

**WHEREAS**, on January 7, 2014, the Village Board of the Village of Gilberts adopted the Gilberts Unified Development Ordinance (“**UDO**”), which sets forth the zoning and development standards and procedures for the Village; and

**WHEREAS**, the UDO currently allows the breeding, keeping, and grazing of livestock, poultry, and other farm animals in the A-1 Agricultural District on lots consisting of five or more acres, and only upon the issuance of a special use permit; and

**WHEREAS**, the UDO also allows the breeding, keeping, and grazing of livestock, poultry, and other farm animals in all other zoning districts upon the issuance of a special use permit; and

**WHEREAS**, the Village Board desires to limit the breeding, keeping, and grazing of livestock, poultry, and other farm animals outside of the A-1 Agricultural District; and

**WHEREAS**, the Village Board has proposed an amendment to the UDO that would prohibit the breeding, keeping, and grazing of livestock, poultry, and other farm animals in all zoning districts besides the A-1 Agricultural District (“**Amendment**”); and

**WHEREAS**, the Plan Commission conducted a public hearing, pursuant to notice published in accordance with Illinois state law, on the Amendment at its meeting held on May 12, 2021, at which time the Plan Commission recommended approval of the Amendment; and

**WHEREAS**, the Village Board of Trustees has considered the Plan Commission’s recommendation, and has determined that it is in the best interests of the Village to approve the Amendment as set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF GILBERTS, KANE COUNTY, ILLINOIS**, as follows:

**SECTION 1. RECITALS** The recitals set forth above are incorporated into Section 1 as set forth herein.

**SECTION 2. AMENDMENT TO SECTION 8-6 OF THE UDO.** Chapter 8, Section 8-6, entitled “Agricultural Uses (except in the Agriculture District)” is hereby amended as follows (deletions in ~~strikethrough~~, additions in **bold** and underline):

“8-6 Agricultural uses (except in the Agriculture District).

- A. *Applicability.* This Section 8-6 shall apply to agricultural uses in all zoning districts except for agricultural uses in the A-1 District which are subject to the regulations contained in Chapter 2 of this Code.

B. *Existing Agricultural Uses, Buildings, and Facilities.* Agricultural uses, buildings, and facilities lawfully existing as of the effective date of this code are permitted in all zoning districts and allowed to continue, subject to the nonconformity regulations of chapter 10~~5~~, ~~as well as the regulations contained in subsection C.~~

C. *New Agricultural Uses, Buildings, and Facilities.* New agricultural uses, buildings, and facilities established after the effective date of this code are allowed as a special use in all zoning districts subject to issuance of a special use permit pursuant to this code and must comply with the regulations contained in **this Section 8-6** ~~subsection C.~~

D. *Agricultural Regulations.*

1. **Special Permitted Uses.** The following **agricultural uses may be permitted, subject to the issuance of a special use permit as provided in Section 11-11 of this code:** ~~are permitted agricultural uses:~~

a. Growing and cultivation of field and garden crops, trees, and forest products.

b. ~~Breeding, keeping, and grazing of livestock, poultry, and other farm animals.~~

~~b~~e. Apiaries.

~~c~~d. Trees and forest products.

~~d~~e. Greenhouses, wholesale.

~~e~~f. Nurseries, wholesale.

~~f~~g. Roadside farm stands selling products grown on **or off** the premises on which the stand is located.

~~g~~h. Kennels.

2. ~~*Special Uses.* The following uses may be permitted, subject to the issuance of a special use permit as provided in Section 11-11 of this code:~~

~~a. Roadside farm stands selling products grown off the premises on which the stand is located.”~~

**SECTION 3. SEVERABILITY.** In the event that any section, clause, provision, or part of this Ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this Ordinance is found to be invalid in any one or more of its several applications, all valid applications shall remain in effect.

**SECTION 4. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however that nothing in this Ordinance shall affect any rights, actions, or causes of action which shall have accrued to the Village of Gilberts prior to the effective date of this Ordinance.

**SECTION 5. EFFECTIVE DATE.** This Ordinance shall only be effective upon the passage, approval, and publication in the manner required by law.

ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, pursuant to roll call vote as follows:

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Dan Corbett	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
Trustee David LeClercq	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Village President, Guy Zambetti

(SEAL)

ATTEST: \_\_\_\_\_  
Village Clerk, Courtney Baker

Published: \_\_\_\_\_

**VILLAGE OF GILBERTS**

**ORDINANCE NO. 10-2021**

**AN ORDINANCE AMENDING THE VLLAGE’S UNIFIED DEVELOPMENT  
ORDINANCE REGARDING THE KEEPING OF LIVESTOCK**

**WHEREAS**, on January 7, 2014, the Village Board of the Village of Gilberts adopted the Gilberts Unified Development Ordinance (“**UDO**”), which sets forth the zoning and development standards and procedures for the Village; and

**WHEREAS**, the UDO currently allows the breeding, keeping, and grazing of livestock, poultry, and other farm animals in the A-1 Agricultural District on lots consisting of five or more acres, and only upon the issuance of a special use permit; and

**WHEREAS**, the UDO also allows the breeding, keeping, and grazing of livestock, poultry, and other farm animals in all other zoning districts upon the issuance of a special use permit; and

**WHEREAS**, the Village Board desires to limit the breeding, keeping, and grazing of livestock, poultry, and other farm animals outside of the A-1 Agricultural District; and

**WHEREAS**, the Village Board has proposed an amendment to the UDO that would prohibit the breeding, keeping, and grazing of livestock, poultry, and other farm animals in all zoning districts besides the A-1 Agricultural District (“**Amendment**”); and

**WHEREAS**, the Plan Commission conducted a public hearing, pursuant to notice published in accordance with Illinois state law, on the Amendment at its meeting held on May 12, 2021, at which time the Plan Commission recommended approval of the Amendment; and

**WHEREAS**, the Village Board of Trustees has considered the Plan Commission’s recommendation, and has determined that it is in the best interests of the Village to approve the Amendment as set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF GILBERTS, KANE COUNTY, ILLINOIS**, as follows:

**SECTION 1. RECITALS** The recitals set forth above are incorporated into Section 1 as set forth herein.

**SECTION 2. AMENDMENT TO SECTION 8-6 OF THE UDO.** Chapter 8, Section 8-6, entitled “Agricultural Uses (except in the Agriculture District)” is hereby amended as follows (deletions in ~~strike through~~, additions in **bold** and underline):

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- B. *Existing Agricultural Uses, Buildings, and Facilities.* Agricultural uses, buildings, and facilities lawfully existing as of the effective date of this code are permitted in all zoning districts and allowed to continue, subject to the nonconformity regulations of chapter 10, ~~as well as the regulations contained in subsection C.~~
- C. *New Agricultural Uses, Buildings, and Facilities.* New agricultural uses, buildings, and facilities established after the effective date of this code are allowed as a special use in all zoning districts subject to issuance of a special use permit pursuant to this code and must comply with the regulations contained in this Section 8-6 ~~subsection C.~~

D. *Agricultural Regulations.*

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- a. Growing and cultivation of field and garden crops, trees, and forest products.
- b. ~~Breeding, keeping, and grazing of livestock, poultry, and other farm animals.~~
- be. Apiaries.
- cd. Trees and forest products.
- de. Greenhouses, wholesale.
- ef. Nurseries, wholesale.
- fg. Roadside farm stands selling products grown on or off the premises on which the stand is located.
- gh. Kennels.

2. ~~*Special Uses.* The following uses may be permitted, subject to the issuance of a special use permit as provided in Section 11-11 of this code:~~

- a. ~~Roadside farm stands selling products grown off the premises on which the stand is located.”~~

**SECTION 3. SEVERABILITY.** In the event that any section, clause, provision, or part of this Ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this Ordinance is found to be invalid in any one or more of its several applications, all valid applications shall remain in effect.

**SECTION 4. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however that nothing in this Ordinance shall affect any rights, actions, or causes of action which shall have accrued to the Village of Gilberts prior to the effective date of this Ordinance.

**SECTION 5. EFFECTIVE DATE.** This Ordinance shall only be effective upon the passage, approval, and publication in the manner required by law.

ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, pursuant to roll call vote as follows:

	<u>Ayes</u>	<u>Nays</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Jeanne Allen	_____	_____	_____	_____
Trustee Dan Corbett	_____	_____	_____	_____
Trustee Brandon Coats	_____	_____	_____	_____
Trustee Lou Hacker	_____	_____	_____	_____
Trustee Justin Redfield	_____	_____	_____	_____
Trustee David LeClercq	_____	_____	_____	_____
President Guy Zambetti	_____	_____	_____	_____

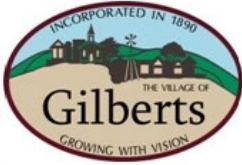
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Village President, Guy Zambetti

(SEAL)

ATTEST: \_\_\_\_\_  
Village Clerk, Courtney Baker

Published: \_\_\_\_\_



## Village of Gilberts

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87 Galligan Road, Gilberts, Illinois 60136  
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www.villageofgilberts.com

**To:** President Zambetti and Board of Trustees  
**From:** Brian Bourdeau, Village Administrator  
**Date:** May 18, 2021 Village Board Meeting  
**Re:** Item 7.A: Resident Presentation Regarding a Request for Village Participation in a Cost Sharing Program with the Illinois Tollway for a Sound Wall Along a Portion of Interstate 90

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The Village was approached by two residents of Dunhill Estates in March 2021 regarding Interstate 90 noise and whether the Village would consider participation in a 50/50 cost sharing option with the Illinois Tollway Authority for the construction of a sound barrier wall along Interstate 90 by the Dunhill Estates subdivision.

By way of background, the Illinois Tollway Authority conducted an analysis of the I-90 corridor in 2012 between mile post 41.5 (U.S. Route 20) and mile post 53.8 (Elgin plaza). The study was in relation to the road widening proposed along the corridor and evaluated existing and projected noise conditions, and, if appropriate, potential noise abatement options. A copy of the full report is available [here](#). The results of that study indicated the area in question did not meet the eligibility criteria for an Illinois Tollway funded and constructed wall.

However, Illinois Tollway policy provides that while a noise wall was not deemed reasonable at this location during the Tollway's widening construction, there are opportunities available for municipalities to request and split the cost of noise wall installation with the Tollway.

The residents requested an opportunity to present a petition to the Board and request feedback regarding a potential noise wall under a cost sharing arrangement with the Illinois Tollway.